



City of Wilmington - 1165 South Water Street - Wilmington, IL 60481

**Agenda – Planning & Zoning Commission
Wilmington City Hall Council Chamber
April 7, 2022 at 5:00 p.m.
In-Person & Via Zoom**

join by video at:

<https://us02web.zoom.us/j/82724511550?pwd=bVJpWEdkTDg5QWpPakRmTk00Z052UT09>

join by phone at:

1-312-626- 6799

Meeting ID: 827 2451 1550 / Passcode: 587865

IN ACCORDANCE WITH PUBLIC ACT 101-0640, 5 ILCS 120/7(e), THIS MEETING WILL BE HELD IN-PERSON AND REMOTELY BASED ON THE GUBERNATORIAL DISASTER DECLARATION AND THE MAYOR OF THE CITY OF WILMINGTON DETERMINING THAT A FULL IN-PERSON MEETING IS NOT PRACTICAL OR PRUDENT. MEMBERS OF THE GENERAL PUBLIC WILL BE ABLE TO VIEW AND PARTICIPATE IN THE MEETINGS REMOTELY AS WELL.

1. Call Meeting to Order
2. Roll Call by Clerk
 - Larry Clennon
 - John Tryner
 - Bryan Humphries
 - Ivana Longest
 - Chris Smith
 - Jayson Walinski
 - Mark Duffy
3. Nominate Chairman for April 7, 2022 Meeting
4. Approve the Previous Meeting Minutes
5. Public Hearing to Consider a Map Amendment from B2-Light Commercial to B3-General Commercial with conditional use for warehouse and storage facilities, a variance to Section 150.62(D)(3)(a) building setback requirements, a front yard from the required 40 feet to approximately 23.5 feet and site plan review to construct self-storage buildings on property located at 131 N School Street.
 - a. Introduction to Petition
 - b. Open Public Hearing
 - c. Verification of Notice & Publication
 - d. City Staff Summary
 - e. Oath Issued
 - f. Petitioner's Presentation
 - g. Commissioner Clarification
 - h. Public Comment
 - i. Petitioner Response
 - j. Close Public Hearing
 - k. Motion to take action
6. Review & Approve 2022 Zoning Map
7. Bob Thomas, requesting discussion on a new garage
8. Public Comment (*State your full name clearly; limit 3 minutes each per Ordinance 19-06-18-01*)
9. Other Pertinent Information
10. Adjournment

*Posting Date:
4/1/2022 11:57 AM jz*

Minutes to the City of Wilmington
Planning and Zoning Commission Meeting
Wilmington City Hall
1165 South Water Street
Thursday, March 10, 2022, at 5:00 PM

Call to Order

The March 10, 2022 meeting of the Wilmington Planning & Zoning Commission was called to order at 5:03 p.m. by Deputy City Clerk Joie Ziller

Roll Call

Upon Roll Call by the Clerk the following members answered “Here” or “Present”:

Commissioners Present In-Person Tryner, Longest, Walinski

Commissioners Present Via Zoom Clennon, Smith

Commissioners Absent Humphries, Duffy

Quorum

There being a sufficient number of members of the corporate authorities in attendance to constitute a quorum, the meeting was declared in order.

Other Officials in Attendance

Also, in attendance were the City Administrator Jeannine Smith, Mayor Ben Dietz, and Deputy City Clerk Joie Ziller

Nominate Planning & Zoning Chairman

Commissioner Smith made a motion and Commissioner Clennon seconded to nominate Commissioner Tryner as acting Chairman for this evening’s meeting, March 10, 2022

Upon roll call, the vote was:

AYES: 5 Smith, Clennon, Longest, Walinski, Tryner

NAYS: 0

ABSENT 2 Humphries, Duffy

Motion passed.

Approve the Previous Meeting Minutes

Commissioner Clennon made a motion and Commissioner Smith seconded to approve the January 6, 2022 meeting minutes and have them placed on file.

Upon roll call, the vote was:

AYES: 5 Clennon, Smith, Walinski, Longest, Tyner

NAYS: 0

ABSENT 2 Humphries, Duffy

Motion passed.

Public Hearing #1

Petitioner: ELP55 VII, LLC
Location: Consisting of 66 Acres – East of Graaskamp Blvd & North of Murphy Rd
Request: Site Plan Review – 1,002,000 SF Office/Warehouse

Commissioner Longest made a motion and Commissioner Smith seconded to open the public hearing at 5:06 p.m.

Upon roll call, the vote was:

AYES: 5 Longest, Smith, Clennon, Walinski, Tryner

NAYS: 0

ABSENT 2 Humphries, Duffy

Motion passed.

Attorney Benjamin Schuster representing the petitioner Elion Partners introduced himself along with Mr. Stellino. Attorney Schuster reviewed the site plan as presented in the agenda packet for a 1 million-plus square foot spec building.

City Administrator Smith confirmed with Deputy City Ziller that the City receives the certified letters that the adjacent property owners were mailed regarding tonight's public hearing.

City Administrator Smith explained that the building being proposed is similar to what is currently existing within the development.

Public Comment #1 – Davis Dover, questioned who the general contractor for the project is. Mr. Stellino replied, Alston.

Public Comment #2 – Davis Dover, questioned if permits have been applied for. Mr. Stellino replied, no.

Public Comment #3 – Davis Dover, questioned when do you anticipate breaking ground. Mr. Stellino replied as soon as the City approves the site plan and issues the permit for Building VII and Building VIII staged by six months.

Public Comment #4 – Bob Thomas, is concerned that the road (Lorenzo Road) is falling apart and wanted to know he is responsible for the repairs. Mr. Stellino clarified that the City is responsible for the maintenance at the developer's (Elion) expense.

Public Comment #5 – Davis Dover, questioned if there are any project labor agreements in place. Mr. Stellino stated that there is one, which is approximately 12 years old.

Public Comment #6 – Commissioner Longest, questioned if the water main extension is being discussed. City Administrator Smith confirmed that it is being discussed.

Public Comment #7 – Commissioner Walinski, questioned the agreement with the current homeowners and if the properties have been purchased. Mr. Stellino referenced the map that was included with the agenda packet and explained what properties have been triggered as part of this process.

Commissioner Clennon made a motion and Commissioner Smith seconded to close the public hearing at 5:17 p.m.

Upon roll call, the vote was:

AYES: 5 Clennon, Smith, Walinski, Longest, Tryner

NAYS: 0

ABSENT 2 Humphries, Duffy

Motion passed.

There being no further discussion, Commissioner Longest made a motion and Commissioner Clennon seconded to approve the site plan proposed by ELP VII, LLC for the 1,002,000 SF Office/Warehouse building pending final engineering review.

Upon roll call, the vote was:

AYES: 5 Longest, Clennon, Smith, Walinski, Tryner

NAYS: 0

ABSENT 2 Humphries, Duffy

Motion passed.

Public Hearing #2

Petitioner: ELP55 VIII, LLC

Location: Consisting of 66 Acres – East of Graaskamp Blvd & North of Murphy Rd

Request: Site Plan Review – 1,002,000 SF Office/Warehouse

Commissioner Longest made a motion and Commissioner Clennon seconded to open the public hearing at 5:19 p.m.

Upon roll call, the vote was:

AYES: 5 Longest, Clennon, Smith, Walinski, Tryner

NAYS: 0

ABSENT 2 Humphries, Duffy

Motion passed.

City Administrator Smith confirmed with Deputy City Ziller that the City receives the certified letters that the adjacent property owners were mailed regarding tonight's public hearing.

Commissioner Clennon made a motion and Commissioner Smith seconded to close the public hearing at 5:21 p.m.

Upon roll call, the vote was:

AYES: 5 Clennon, Smith, Walinski, Longest, Tryner

NAYS: 0

ABSENT 2 Humphries, Duffy

Motion passed.

Commissioner Longest questioned how long is the construction of the new building being proposed. Mr. Stellino responded, typically ten to twelve months.

There being no further discussion, Commissioner Longest made a motion and Commissioner Clennon seconded to approve the site plan proposed by ELP VIII, LLC for the 1,002,000 SF Office/ Warehouse building pending final engineering review.

Upon roll call, the vote was:

AYES: 5 Longest, Clennon, Smith, Walinski, Tryner

NAYS: 0

ABSENT 2 Humphries, Duffy

Motion passed.

Public Hearing #3

Petitioner: Walrus CC, LLC

Location: Consisting of 30 Acres – southeast corner of E Kankakee River Drive & HWY 53

Request: variance to Chapter 150.62(D)(5) to allow a building height of 125 feet above average grade, where 100 feet is the maximum permitted under conditional use permit and conceptual site plan review to construct a cold storage warehouse facility

Commissioner Walinski made a motion and Commissioner Smith seconded to open the public hearing at 5:25 p.m.

Upon roll call, the vote was:

AYES: 5 Walinski, Smith, Longest, Clennon, Tryner

NAYS: 0

ABSENT 2 Humphries, Duffy

Motion passed.

George Bene, representing the petitioner introduced himself to the Commission and explained the project to construct cold storage distribution facility with ASRS (Automated Storage and Retrieval System). Mr. Bene explained this project would bring in 150 full-time positions along with substantial property tax revenue. The land is well suited for the development, it is approximately a quarter-mile off Route 53, it is in an industrial use area, there is good traffic flow with access to the highways and railyards. The proposed building is 322,000 square feet multi-story warehouse and processing which includes 113,000 square feet with a proposed maximum height of 125 feet. The site would include parking for 49 trucks and 163 automobiles, along with 26 dock spaces.

City Administrator Smith stated that within the zoning code I-2 zoning district has a maximum building height of 45 feet and may be increased to 100 feet by conditional use permit as long as all yard setbacks by a certain ratio are met. Reference can be found in the staff report prepared by City Engineer Casey McCollom of Chamlin & Associates that was included with the meeting agenda packet.

Commissioner Longest stated her concerns with the number of trucks currently sitting waiting to get into facilities on Kankakee River Drive. Administrator Smith explained that this is addressed as one of the conditions in the staff report.

Public Comment #1 – Davis Dover, questioned where they stand with the labor agreement. The petitioner stated their goal is to build it completely union.

Public Comment #2 – Bob Thomas, questioned which way the docks will be facing as he is concerned with the beeping sound of the trucks backing up and the trees are not a good enough cover. Mr. Bene answered the docks will face west.

Public Comment #3 – Davis Dover, questioned if the type of material for the walls is rated for tornados. Mr. Bene stated that the building material is rated to withstand a tornado.

Public Comment #4 – Commissioner Longest, questioned if an environmental study would be performed considering the proximity of Forked Creek. Mr. Bene state that this type of study is not needed unless required by the City.

Public Comment #5 – Commissioner Longest, questioned if you didn't have this location where would the location be. Mr. Bene stated most likely to the east in Indiana or to the west near Morris.

Commissioner Smith made a motion and Commissioner Longest seconded to close the public hearing at 5:58 p.m.

Upon roll call, the vote was:

AYES: 5 Smith, Longest, Clennon, Walinski, Tryner

NAYS: 0

ABSENT 2 Humphries, Duffy

Motion passed.

Commissioner Tryner made note of the staff comment, the maximum height per the ordinance is 100 feet and believes that we (Planning & Zoning Commission) cannot entertain the petition at 125 feet if that is not allowed by our ordinance unless the City Council wants to proceed with an amendment to the zoning ordinance. At best we could give some indication of our feelings on the matter but we don't have any authority to approve this request and send it on to the City Council.

Attorney Nemanich stated that the Commission could make a recommendation subject to the City Council making a text amendment to the ordinance.

City Administrator Smith suggested that Commission could continue to a date certain requiring to re-notice with a conditional use of a maximum of 100 feet or can move forward and request that City Council do a text amendment.

George Bene stated that in the code there is a variance application and they have met the requirements of the variance application.

There being no further discussion, Commissioner Smith made a motion and Commissioner Clennon seconded to approve the petitioner's variance request for building height, 125 feet, subject to any necessary conditions

Upon roll call, the vote was:

AYES: 2 Smith, Clennon
NAYS: 3 Longest, Walinski, Tryner
ABSENT 2 Humphries, Duffy

Motion denied.

Public Comment

No public comment was made.

Review & Approve 2022 Zoning Map

This will be on the April 7, 2022 agenda for Commission review and approval.

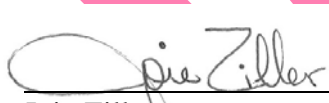
Other Pertinent Information

City Administrator.

Adjournment

Motion to adjourn the meeting made by Commissioner Longest and seconded by Commissioner Walinski. Upon voice vote, the motion was carried. The Wilmington Planning & Zoning meeting held on March 10, 2022, adjourned at 6:27 p.m.

Respectfully submitted,



Joie Ziller
Deputy City Clerk

City of Wilmington

Planning and Zoning

Staff Report

SUBJECT: Petition by KAV Development Inc. for Map Amendment from B-2 to B-3 with front yard variance from 40 feet to 23.5 feet and Conditional Use to allow for a Self-Storage Warehouse

AGENDA ITEM: 5

MEETING DATE: April 7, 2022

TO: Honorable Members of the City of Wilmington Planning and Zoning Commission

FROM: Jeannine Smith, City Administrator 

ACTION REQUESTED:

KAV Development Inc. (Petitioner) approached the City with a land use petition to rezone their two vacant parcels to B-3 with a variance reducing the front yard setback to 23.5 feet to allow for the construction of a self-storage facility located at 131 N. School Street (see attached map labeled location of property).

BACKGROUND:

KAV Development Inc is the contract buyer for the vacant lots located at 131 N. School Street (PIN numbers 03-17-26-404-016-0000 and 03-17-26-404-005-0000). They currently own the business (Birdie’s Café Corporation) on Baltimore Street fronting the vacant lots. Petitioner requests a zoning map amendment from the current zoning of B-2 Light Commercial District to B-3 General Commercial District. The B-2 uses do not permit self-storage warehouses; whereas B-3 zoning permits self-storage warehouses with a conditional use permit. In addition to the conditional use, Petitioner is asking for a front yard variance from the required 40 feet to approximately 23.5 feet. The front yard of the proposed development is along School Street. Following is the Petitioner’s Narrative which explains their hardship.

PETITIONER’S NARRATIVE:

“Regarding our variance request for setback on our West Property Line, if strict enforcement of the code was applied in our situation, our total building foot print sizes would be reduced by a minimum of 20% in order to still maintain full access to all sides of all buildings. Further, if our building sizes were shrunk 20%, the development would not be worthwhile from an investment standpoint meaning we would not be able to yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the particular district or zone.

Variance Requested		Strict Enforcement	
Size	Sq Ft	Size	Sq Ft
20x100	2000	20x80	1600
20x100	2000	20x80	1600
20x100	2000	20x80	1600
40x100	4000	40x80	3200
Tot Sq Ft	10000	Tot Sq Ft	8000

Without the variance request accepted, our total building square footage would shrink by 20%, thus not making the development worthwhile.

If the variation is granted, the essential character of our buildings will not alter the essential character of the locality. Directly to the North & East of our property, there are post-framed poll buildings currently in place. Further to the North, there is the School Bus Barn w/ gravel lots and older wooden framed & sided buildings. Last, to the South is the Faletti building which is approximately 50+ years old. Again, our building will not alter the character of this building, neither. Also note, we are current tenants in the Faletti building with a different ongoing business venture (Birdie's Cafe Corporation).”

DISCUSSION AND FINDINGS OF FACT:

Picture of building fronting Baltimore Street directly south of proposed project. Side yard setback is approximately 10.32 ft from property line. Petitioner is proposing a 23.5 ft front yard setback which would adequately screen the proposed storage use from line of sight on Baltimore Street at School Street.



Properties abutting the proposed development consist of the following zoning districts (see zoning map):

- | | |
|-----------|-----------------------------------------|
| North | I1 - Office, Research, Light Industrial |
| South | B2 – Light Commercial |
| Northwest | R1 – Residential Single Family |
| West | B3 – General Commercial |
| East | B3 – General Commercial |
| Northeast | B2 – Light Commercial |
| Southeast | B2 – Light Commercial |

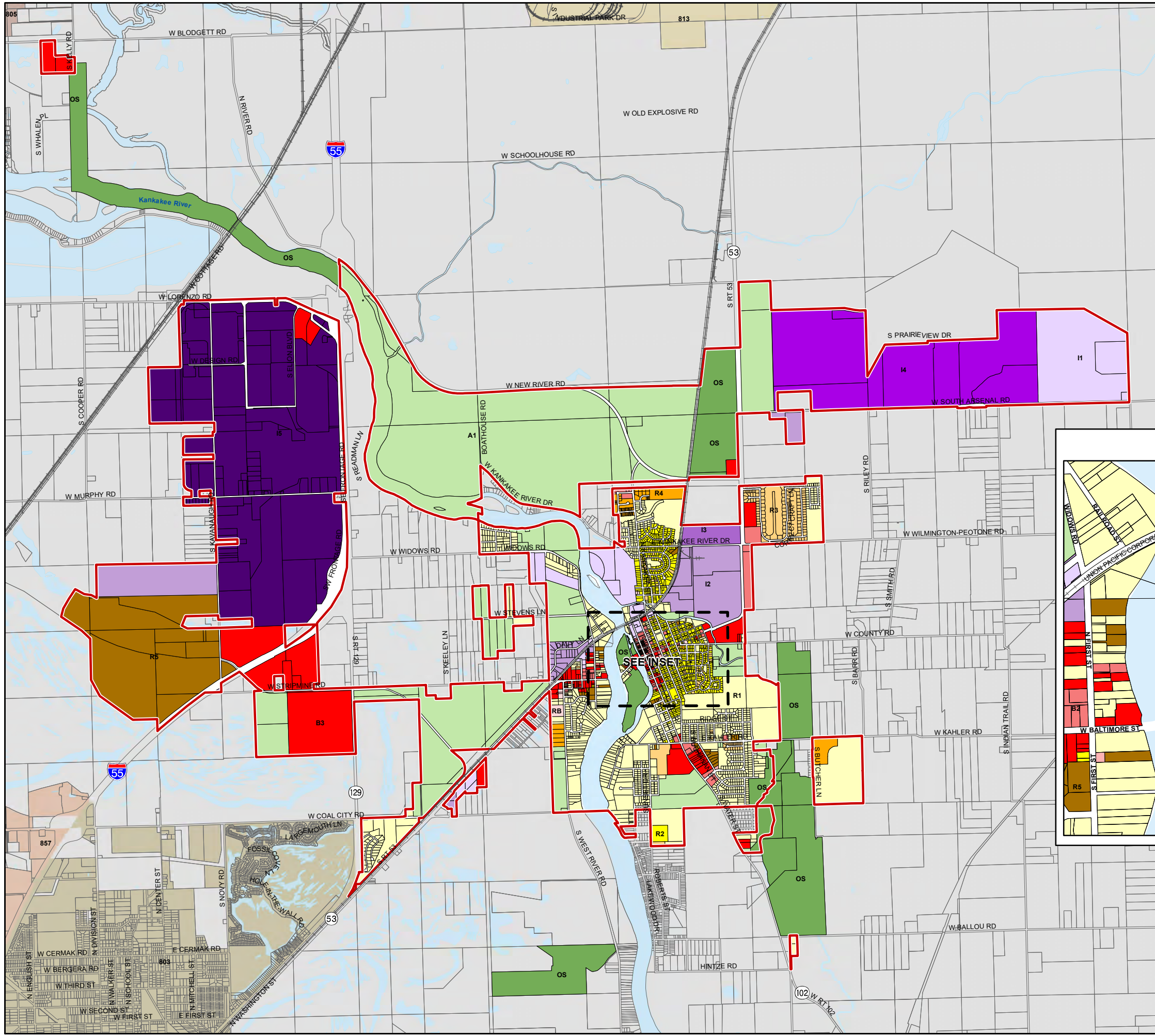
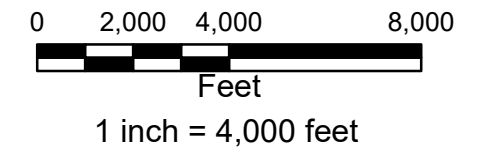
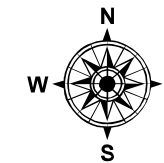
Staff finds the proposed development to be in substantial conformance with all other aspects of the Zoning Code, including off street parking, loading, and screening of adjacent residential properties. **At this time, Staff respectfully requests and recommends your consideration of the attached findings of fact and recommendation to the City Council.**

CITY OF WILMINGTON

2021 ZONING MAP

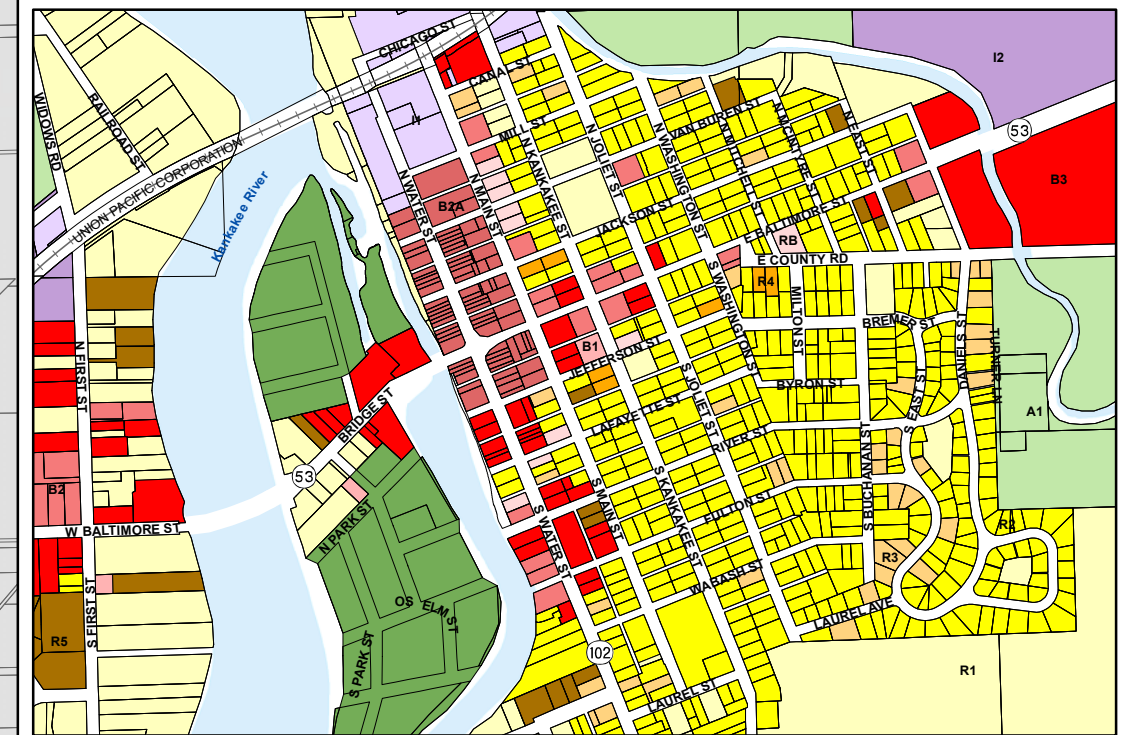
Legend

- | | |
|----------------------------------------|----------------------------------------|
| WILMINGTON CORPORATE LIMITS | B1- NEIGHBORHOOD COMMERCIAL |
| A1- AGRICULTURAL | B2- LIGHT COMMERCIAL |
| ER- ESTATE RESIDENTIAL | B2A- CENTRAL BUSINESS |
| GR- GENERAL RESIDENTIAL | B3- GENERAL COMMERCIAL |
| R1- RESIDENTIAL SINGLE FAMILY | I1- OFFICE, RESEARCH, LIGHT INDUSTRIAL |
| R2- RESIDENTIAL SINGLE FAMILY | I2- LIGHT INDUSTRIAL |
| R3- RESIDENTIAL TWO FAMILY | I3- HEAVY INDUSTRIAL |
| R4- RESIDENTIAL SINGLE FAMILY ATTACHED | I4- LARGE SCALE INDUSTRIAL |
| R5- RESIDENTIAL, MULTI-FAMILY | I5- LARGE SCALE PLANNED INDUSTRIAL |
| RB- RESTRICTED BUSINESS | OPEN SPACE- (NOT A ZONING DISTRICT) |



INSET AREA

1 inch = 1,000 feet



PUBLISHED BY AUTHORITY OF THE CITY COUNCIL OF THE CITY OF WILMINGTON, ILLINOIS 60481
Parcel boundaries are to be used only as a reference and may change without notice. True property boundaries are shown in official legal descriptions and plats on file with the Will County Recorder of Deeds.

The Data is provided without warranty or any representation of accuracy, timeliness, or completeness. It is the responsibility of the "Requester" to determine accuracy, timeliness, completeness, and appropriateness of its use. The City of Wilmington makes no warranties, expressed or implied, to the use of the Data. Parcel data provided by Will County GIS

Prepared For:



Prepared By:



Ruettinger, Tonelli & Associates, Inc.
 Surveyors • Engineers • Planners • Landscape Architects • G.I.S. Consultants
 129 CAPISTA DRIVE - SHOREWOOD, ILLINOIS 60404
 PH. (815) 744-6600 FAX (815) 744-0101
 website: www.ruettingertonelli.com

APPROVED: 3/2/2021



Location of Property

**BEFORE THE PLANNING AND ZONING COMMISSION OF
THE CITY OF WILMINGTON ON _____**

**THE MATTER OF A MAP AMENDMENT
FROM _____ TO _____
LOCATED AT: _____
PETITIONER: _____**

PZC MAP AMENDMENT FORM FOR FINDINGS AND RECOMMENDATIONS

JURISDICTIONAL REQUIREMENTS FOR A HEARING

- Yes No Published Public Hearing Notice was made not less than 15 days and not more than 30 days prior to hearing.
- Yes No Public Hearing Notice made part of the record.
- Yes No Applicant's Affidavit that signage was posted not less than 15 days and not more than 30 days prior to hearing.
- Yes No Copy of the Notice was sent to each property owner within 250 feet of the proposed variance.
- Yes No Applicant's Affidavit of Service of Notice to each property owner was filed.

**PLANNING AND ZONING COMMISSION FINDINGS RELATIVE TO THE PETITION FOR
MAP AMENDMENT**

After giving due consideration and weight to the following factors: (1) the potential benefits and detriments of the proposed zoning change to the public health, safety and welfare; (2) the extent to which the proposed amendment is in compliance with and/or deviates from the adopted comprehensive plan; (3) the suitability of the property in question for the uses permitted under the proposed zoning; and (4) the adequacy of appropriate public facilities, such as sewer, water and roads and of other required services, the Planning and Zoning Commission hereby finds as follows:

- Yes No (1) The proposed rezoning conforms to the comprehensive plan; or conditions or trends of development have changed in the area of the request, since the adoption of the comprehensive plan, to warrant the need for different types of land uses or densities. Furthermore, the proposed rezoning is appropriate considering the length of time the property has been vacant, as originally zoned, and taking into account the surrounding area's trend of development.
- Yes No (2) The proposed rezoning conforms to the intent and purpose of Chapter 150 of the City of Wilmington's Code of Ordinances.

Yes No (3) The proposed rezoning will not have a significant detrimental effect on the long-range development of adjacent properties or on adjacent land uses.

Yes No (4) Adequate public facilities and services exist or can be provided.

Facts supporting map amendment as to issue 1: _____

Facts supporting map amendment as to issue 2: _____

Facts supporting map amendment as to issue 3: _____

Facts supporting map amendment as to issue 4: _____

The final vote of the Planning and Zoning Commission to recommend _____ of the _____

_____ ,by ayes and nays, was as follows:

Bryan Humphries _____
Chris Smith _____
Jayson Walinski _____
Ivana Longest _____

Larry Clennon _____
John Tyrner _____
Mark Duffy _____

PZC hereby recommends the granting of a map amendment to _____

OR

PZC hereby recommends against the granting of a map amendment to _____

Dated: _____

Chairman

Attest:

Deputy City Clerk

**BEFORE THE PLANNING AND ZONING COMMISSION OF
THE CITY OF WILMINGTON ON _____**

THE MATTER OF A VARIANCE

LOCATED AT: _____

PETITIONER: _____

PZC VARIANCE FORM FOR FINDINGS AND RECOMMENDATIONS

JURISDICTIONAL REQUIREMENTS FOR A HEARING

- Yes No Published Public Hearing Notice was made not less than 15 days and not more than 30 days prior to hearing.
- Yes No Public Hearing Notice made part of the record.
- Yes No Applicant's Affidavit that signage was posted not less than 15 days and not more than 30 days prior to hearing.
- Yes No Copy of the Notice was sent to each property owner within 250 feet of the proposed variance.
- Yes No Applicant's Affidavit of Service of Notice to each property owner was filed.

REQUIREMENTS FOR GRANTING A VARIANCE

- Yes No (1) Strict enforcement of the code would involve practical difficulties or impose exceptional hardship;
- Yes No (2) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the particular district or zone;
- Yes No (3) The plight of the owner is due to unique circumstances;
- Yes No (4) The variation, if granted, will not alter the essential character of the locality.
- Yes No Adequate evidence was submitted to establish practical difficulties or particular hardship so that, in the judgment of the PZC, a variation is permitted because the evidence sustained the existence of each of the above four conditions.

Facts supporting variance as to issue: _____

Conditions or restrictions: _____

The PZC recommends that the City Council may impose the following conditions and restrictions upon the premises benefitted by a variance should the City Council approve said variance: _____

The final vote of the Planning and Zoning Commission to recommend _____
of the _____, by ayes

and nays, was as follows:

Bryan Humphries	_____	Larry Clennon	_____
Chris Smith	_____	John Tyrner	_____
Jayson Walinski	_____	Mark Duffy	_____
Ivana Longest	_____		

PZC hereby recommends the granting of the variance to permit _____

OR

PZC hereby recommends against the granting of a variance on _____

Dated: _____

Chairman

Attest:

Deputy City Clerk



Land Use Petition
City of Wilmington, Illinois

Received
FEB 10 2022
City of Wilmington

Petitioner: KAV DEVELOPMENT INC. /Eric Kempes, Christopher Alberico, Brent Van Duyne
Address: 398 W Baltimore Street
City: Wilmington State: Illinois Zip: 60481
Phone No.: 630-750-1279 Fax No.: Email: erickempes08@yahoo.com

Petitioner is the owner of the subject property and is the signer of this petition
Petitioner is the contract purchaser of the subject property and has attached a copy of said contract to this petition
Petitioner is acting on behalf of the owner of the subject property and has attached a letter granting such authority signed by the owner

In the event the property is held in trust, a notarized letter from an authorized trust officer identifying the petitioner as an authorized individual acting on behalf of the beneficiaries and providing the name, address, and percentage of interest of each beneficiary is attached to this executed petition.

Subject Property

Location: 131 N School Street, Wilmington IL, 60481
Size of Property: 1 acre Tax Parcel No.: 03-17-26-404-005-0000
03-17-26-404-016-0000

The following documents have been attached:

- Legal Description, Plat of Survey, List of Adjacent Property Owners, Site Plan, Preliminary Plat, Final Plat, Preliminary Plan, Final Plan, Impact Fee Form, Bank Trust Letter

Type of Action Requested

- Annexation, Annexation Agreement, Concept Plan, Preliminary Plat/Plan, Final Plat/Plan, Map Amendment, Conditional Use, Variance, Site Plan Review

I have submitted the required filing fee. I understand that the fee is non-refundable. The fee is determined according to the attached schedule of fees. RK (initial here) 250.00 (fee)

Statement of Petition

Please provide a brief statement describing the proposal as it relates to the standards of petition accompanying this document (attach additional sheets if necessary).

We are proposing to develop the aforementioned lot and to construct up to (7) self storage buildings on the property.

The current property zoning for the property is B2 - Light Commercial, while self-storage warehouse establishments are a conditional use in B3-General Commercial. As such, we are requesting a zoning change to B3-General Commercial along with two variances:

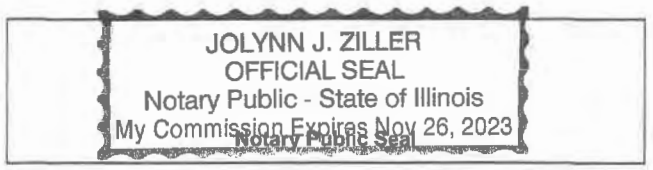
- 1. A variance to Section 150.62(D) (3)(a) Building Setback Requirement, Front Yard from the required 40 feet to approximately 23.5 feet.
2. A variance to Section 150.14(B) from requiring parking facilities to have bituminous or concrete surfaces to allowing compacted gravel surfaces

Number of Dwelling Units, Type of Units, Self-Storage Units, Square Footage 10,000
Proposed Time Schedule for Development, Construction starting 5/1/22
Requested Variances See above in statement of petition

Authorization

I hereby affirm that I have full legal capacity to authorize the filing of this petition and that all the information and exhibits herewith submitted are true and correct to the best of my knowledge. The petitioner invites city representatives to make all reasonable inspections and investigation of the subject property during the period of processing this petition

State of Illinois, Date 2-10-22, Signature of Petitioner



I, the undersigned, a notary public in and for the said county and state aforesaid, do hereby that Eric Kempes is personally known to me to be the same person whose name is subscribed to the forgoing instrument, and that said person signed, sealed and delivered the above petition as a free and voluntary act, for the uses and purposes set forth.

Notary Signature: [Signature], My Commission Expires: 11/26/2023

Given under my hand and notary seal this 10 day of February, A.D. 2022

NOTICE OF PUBLIC HEARING
Planning and Zoning Commission of the City of Wilmington, IL

NOTICE IS HEREBY GIVEN that, on April 7, 2022, at 5:00 p.m. a public hearing will be held by the Planning and Zoning Commission of the City of Wilmington at City Hall located at 1165 S. Water Street, Wilmington, IL for the purpose of receiving and considering testimony and public comment on the request of petitioner and contractor purchaser, KAV Development, Inc., 398 W Baltimore Street, Wilmington, IL, in regards to a map amendment from B2-Light Commercial to B3-General Commercial with conditional use for warehouse and storage facilities, a variance to Section 150.62(D)(3)(a) building setback requirements, a front yard from the required 40 feet to approximately 23.5 feet and site plan review to construct self-storage buildings on property located at 131 N School Street, Wilmington, IL. The property is legally described as follows:

LOT 14 IN GOODINGS SUB OF BLK 11OF THOMPSONS SUB, A SUB OF PRT OF THE E1/2 SE1/4 SEC 26 T33N-R9E
PIN: 03-17-26-404-016-0000

LOT 15 IN GOODINGS SUB OF BLK 11OF THOMPSONS SUB, A SUB OF PRT OF THE E1/2 SE1/4 SEC 26 T33N-R9E
PIN: 03-17-26-404-005-0000

All persons interested in attending are invited to do so and will be given an opportunity to be heard. Pursuant to Section 7(e) of the Illinois Open Meetings Act, 5 ILCS 120/7(e), and guidance provided by legal counsel, the City of Wilmington may conduct all or portions of this meeting by use of telephonic or electronic means without a physical quorum present in the boardroom. Public access to this meeting is available as follows:

Join Zoom meeting by video:

<https://us02web.zoom.us/j/82724511550?pwd=bVJpWEdkTDg5QWpPakRmTk00Z052UT09>

Join Zoom meeting by phone:

1 312 626 6799 US (Chicago)

Meeting ID: 827 2451 1550

Passcode: 587865

All persons interested in attending are invited to do so and will be given an opportunity to be heard. Additional information on such application can be obtained from the City of Wilmington Zoning Administrator at 1165 S. Water Street, Wilmington, IL (815) 476-2175.

City of Wilmington
Will County, Illinois



LEGAL DESCRIPTION

Lots 14 and 15 as designated on the Plat of Subdivision of Block 11 of the Subdivision of the South Part, South of Chicago, Alton and St. Louis Railroad, of Southeast Quarter of Section 26, Township 33 North, Range 9 East of the Third Principal Meridian, according to the plat thereof recorded August 11, 1876 in Will County, Illinois, all described as follows: Beginning at the Northwest Corner of said Lot 14, thence North 87 Degrees 53 Minutes 40 Seconds East 148.50 feet along the North line of said Lot 14 to the Northeast Corner of said Lot 14, thence South 02 degrees 06 Minutes 12 Seconds East 297.0 feet along the East line of said Lots 14 and 15 to the Southeast Corner of said Lot 15, thence South 87 degrees 53 Minutes 40 Seconds West 148.50 feet along the South line of said Lot 15 to the Southwest Corner of said Lot 15, thence North 02 degrees 06 Minutes 12 Seconds West 297.0 feet along the West line of said Lots 14 and 15 to the Point of beginning, containing 1.012 acres more or less, all situated in Will County, Illinois.

SURVEYOR'S CERTIFICATE

We, Chamlin & Associates, Inc., do hereby certify that the within plat is a true and correct representation of a survey made under our direction for Wilmington VFW Post 5422. Field work was completed June 10, 2020.

It is not warranted that this plat contains complete information regarding easements, reservations, restrictions, rights-of-way, building lines, and other encumbrances. For complete information, a title opinion or commitment for title insurance should be obtained.

Dated this 8th day of February, A.D., 2022.

Michael W. Soerksen, P.L.S.

LEGEND

- BOUNDARY OF PROPERTY
- EXISTING RIGHT-OF-WAY
- PROPOSED LOT LINES
- MULTIPLE STRIPS AND POINTS OF BEGINNING
- P.O.B.

Professional Design Firm
License No. 184-001717

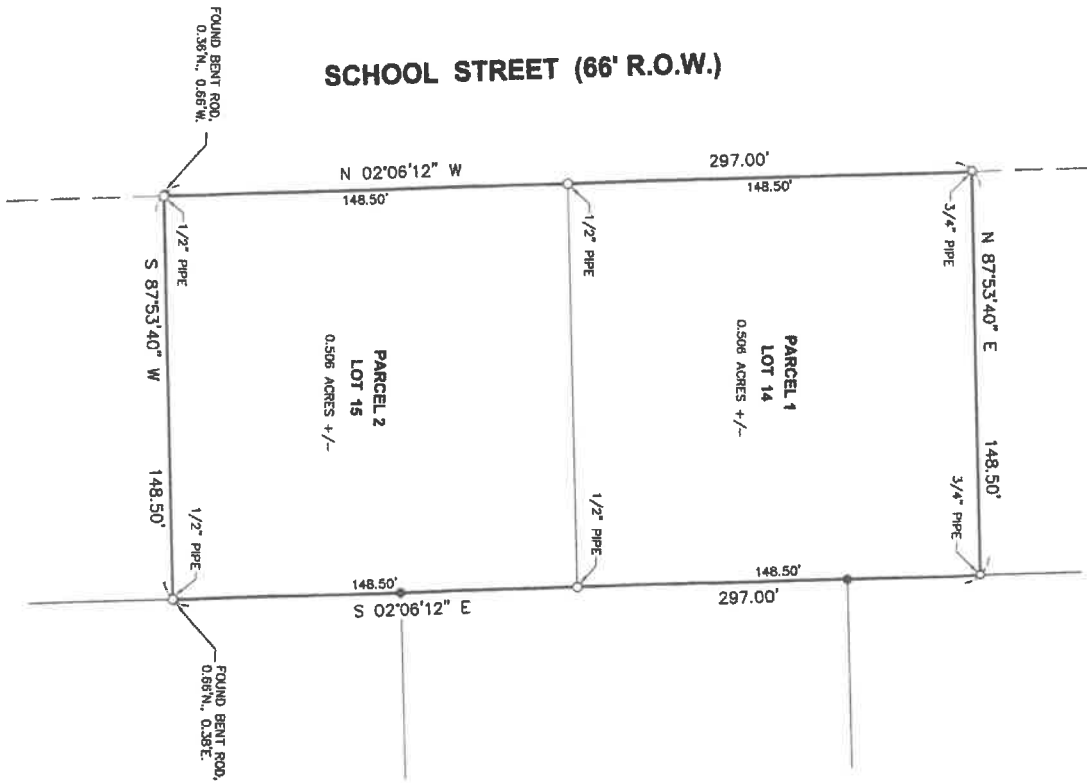


DATE	11/11/2021
PROJECT	ARCO MURRAY - LOTS 14 & 15 IN THE SUBDIVISION OF BLOCK 11, SEC. 26-33-9, 3RD P.M. CITY OF WILMINGTON, WILL COUNTY, ILLINOIS
SCALE	AS SHOWN
DATE	11/11/2021
BY	MICHAEL W. SOERKSEN
CHECKED BY	MICHAEL W. SOERKSEN
DATE	11/11/2021
PROJECT NUMBER	148
DATE	11/11/2021

Chamlin and Assoc., Inc.



SCHOOL STREET (66' R.O.W.)



LEGEND

	BOUNDARY OF PROPERTY
	EXISTING RIGHT-OF-WAY
	EXISTING LOT LINE
	1/2" IRON ROD FOUND
	IRON PIPE FOUND

Professional Design Firm
 License No. 184-001717



REVISIONS

NO.	DATE	DESCRIPTION
1	10/11/20	ISSUED FOR PERMIT

BOUNDARY SURVEY

WILMINGTON VFW - LOTS 14 & 15 IN THE SUBDIVISION OF BLOCK 11, SEC. 26-35, 3RD P.M. CITY OF WILMINGTON, WILL COUNTY, ILLINOIS	SCALE: 1"=30'	DATE: 06/11/20	SHEET NUMBER: 1 OF 1	FILE NUMBER: 18791
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LEGAL DESCRIPTION - Per Document R20172030399

Parcel 1

Lot 14 as designated on the Plat of Subdivision of Block 11 of the Subdivision of the South Part, South of Chicago, Alton and St. Louis Railroad of Southeast Quarter of Section 26, Township 33 North, Range 9 East of the Third Principal Meridian, according to the plat thereof recorded August 11, 1876 in Will County, Illinois.

Parcel 2

Beginning at a point that is 2.75 chains north of a point 22.75 chains East of the Southwest corner of the Southeast Fractional Quarter of Section 26, for the place of beginning, running thence North 2.25 chains; thence West 2.25 chains; thence South 2.25 chains; and thence East 2.25 chains to the place of beginning, said premises being formerly platted and described as lot 15 of the Subdivision of Block 11 by heirs of S. C. Thompson, deceased, of the east part of the south half of the southeast fractional quarter of said Section 26, the plat thereof having been heretofore vacated; all in Township 33 North and in Range 9, East of the Third Principal Meridian.

SURVEYOR'S CERTIFICATE

We, Chamlin & Associates, Inc., do hereby certify that the within plat is a true and correct representation of a survey made under our direction for Wilmington VFW Post 5422. Field work was completed June 10, 2020.

It is not warranted that this plat contains complete information regarding easements, reservations, restrictions, rights-of-way, building lines, and other encumbrances. For complete information, a title opinion or commitment for title insurance should be obtained.

This professional service conforms to the current Illinois Minimum Standards for a Boundary Survey.

Dated this 11th day of June, A.D. 2020

Michael W. Soelksen, P.L.S.

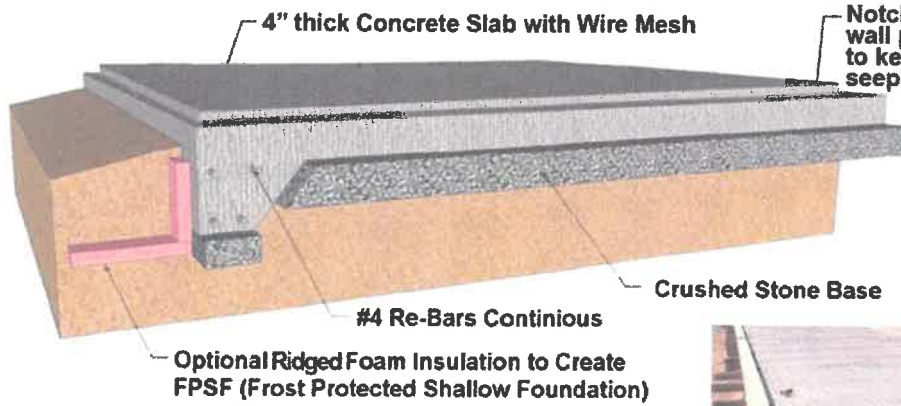




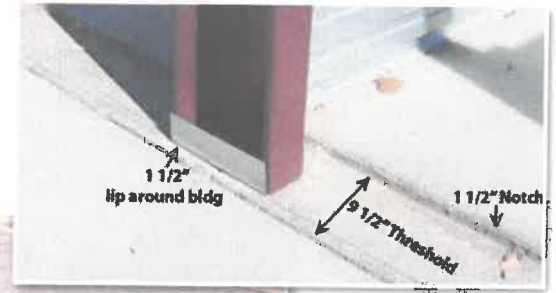
Architectural Rendering of 40' wide x 100' long salt-storage building
"Please note, this is NOT our color selection"

Mini Storage Foundations

Monolithic Foundation

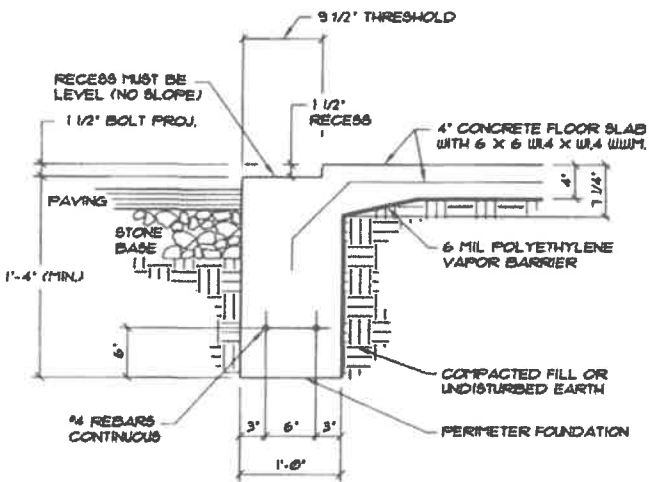


Notch where doors & wall panel are located to keep water from seeping in



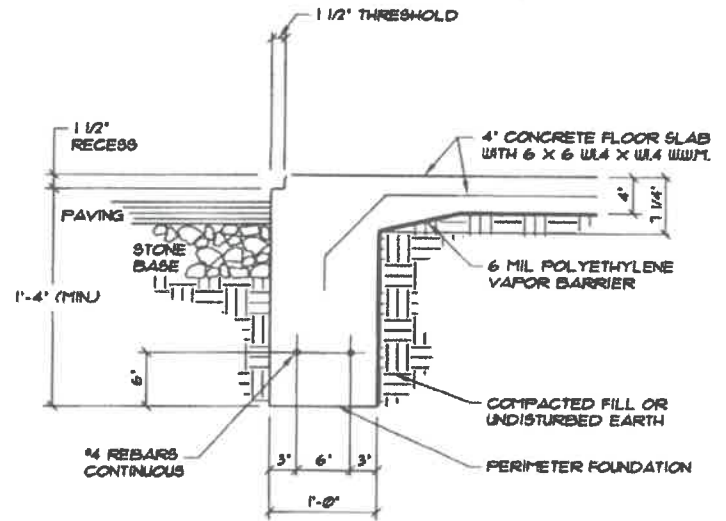
The notch in the foundation helps prevent water from seeping into the building.

9 1/2"x 1 1/2" Notch- rollup doors are located



TYPICAL PERIMETER FOUNDATION SECTION
(MONOLITHIC CONCRETE PLACEMENT)
NOT TO SCALE

1 1/2"x 1 1/2" Notch- wall panel located (no doors)



TYPICAL PERIMETER FOUNDATION SECTION
(MONOLITHIC CONCRETE PLACEMENT)
NOT TO SCALE



SAMPLE FOUNDATION PLANS ONLY

Do not use for construction. Your actual foundation design will vary depending on your location, soil conditions and local building codes. Foundation design cost is not included in the building material pricing unless specifically listed.

STRUCTURAL NOTES

STRUCTURAL GENERAL NOTES AND SPECIFICATIONS:

DIVISION 01 - GENERAL

1. The Engineer of Record only assumes responsibility for that which was prepared by the Engineer of Record.
2. Refer to Structural Cover Sheet for applicable structural codes.
3. The structure shown on these drawings is structurally sound only in its completed form. The contractor shall brace all earth, forms, concrete, steel, wood, masonry, to resist gravity, earth, wind and construction loads during construction.
4. Contractor shall exercise proper precaution to verify all existing conditions and layout or work. Immediately notify Engineer of any discrepancies. Contractor is responsible for any error resulting from failure to exercise such precaution.
5. Any discrepancies, errors or omissions discovered in the contract documents shall be brought to the attention of the Engineer before proceeding with related work. Otherwise, the correction of such items is the responsibility of the contractor and/or subcontractor.
6. Where a detail, typical detail, section, typical section or a note is shown for one condition, it shall apply for all like or similar conditions unless otherwise noted.
7. Should structural conflicts occur affecting fit-up of structural material, contractor shall notify engineer. Under no circumstances should structural material be modified to accommodate fit-up without the engineer's approval.

DIVISION 02 - CONCRETE

1. Foundation Criteria
Interior column footings have been designed for piece-material on original, undisturbed soil or compacted fill material of 1500 PSF minimum bearing capacity.
2. All fill areas shall be cleared and stripped of organic material under building or paving areas. Proof rolling of existing soil and compaction of fill material to 95% Standard Proctor shall be completed to within 12" of the bottom of the floor slab to a distance of 8'-0" outside of building area before footing excavation is begun. The remaining 12" below the slab shall be compacted to 95% Standard Proctor. Paving areas shall be compacted to a minimum of 90% Standard Proctor. Any engineered structural fill shall be placed in 8' lifts, maximum.

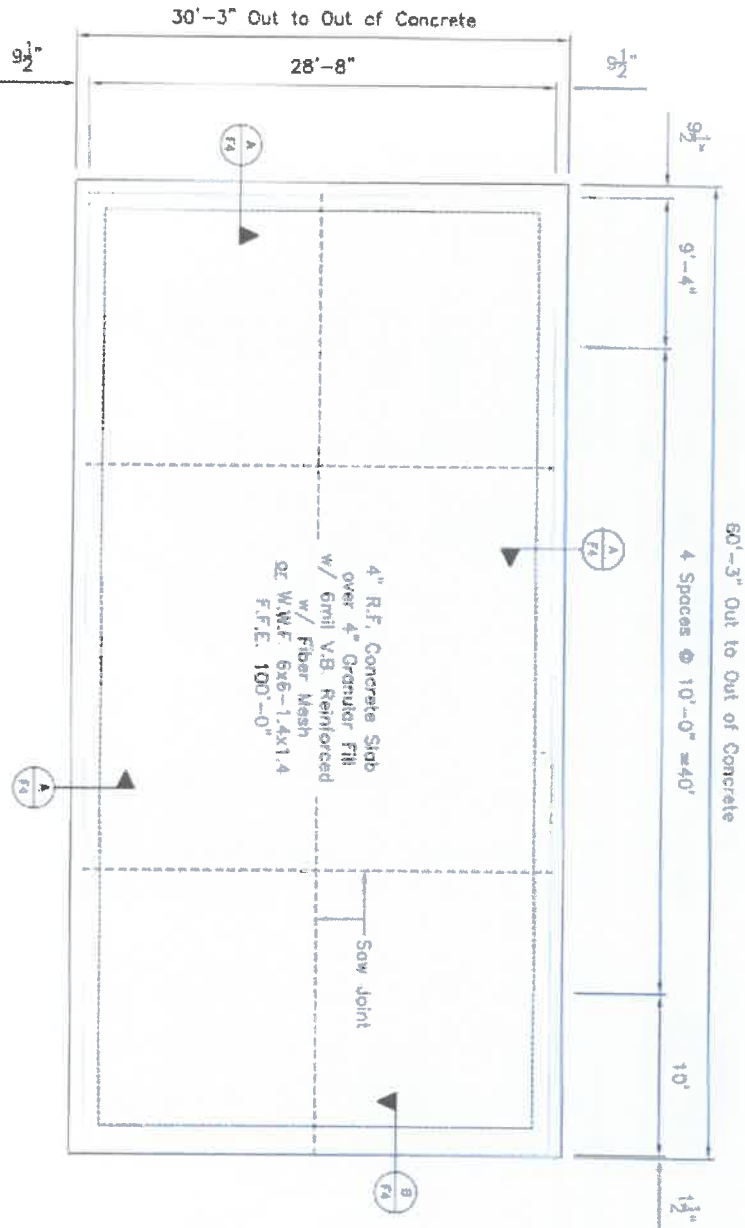
Concrete:

1. All concrete construction shall conform to ACI 301, Specifications for Structural Concrete for Buildings, ACI Building Code 318, ACI 322 and Guide for Concrete Floor and Slab Construction ACI 302.1R.
2. When hot or cold weather conditions exist during placement and curing of concrete that would impair the quality and strength of concrete, special measures shall be taken as specified in ACI 305 "Hot Weather Concreting" and ACI 306 "Cold Weather Concreting".
3. Structural concrete shall be as follows, unless otherwise noted, 28 day minimum compressive strength:
 - a) Footings & Foundations: 3500 PSI
 - b) Floor Slab: 3500 PSI
4. Slump obtained shall be 4" (+/- 1"). Concrete for masonry filled cells may be placed with 8" to 11" slump. Unless noted otherwise, details of concrete reinforcement and accessories shall be in accordance with ACI 315, Manual of Standard Practice for Detailing Reinforced Concrete Structures and CRSI MSP-1, Manual of Standard Practice, latest edition.
5. Reinforcing steel shall conform to ASTM A615, grade 60, and ASTM A516.
6. Unless otherwise noted, reinforcing top splices shall be ACI Class B splices using the following lap lengths:

4	24"
5	30"
6	36"
7	42"
7. All welded reinforcing steel shall be ASTM A706 and be free of oil, scale, and rust. Welding of bars shall conform to ANSI/AWS D1.4 "Structural Welding Code - Reinforcing Steel".
8. Wire mesh shall conform to ASTM A185; minimum lap to be 5 inches.
9. Provide corner bars at corners of concrete walls and footings. Size and spacing of bars shall match size and spacing of longitudinal bars in walls or footings.
10. Concrete slab and design criteria shall be as noted on the structural plans.
11. Place 6 mil (nom.) polyethylene vapor barrier under all finishing slabs on grade, top 12" minimum.
12. Slabs on grade shall be placed using strip placement. Sowed joints (noted as S.J. foundation plan) shall be cut as soon as possible after slab is able to support weight of saw and be cut without crowing. Sowing shall be performed within 4 to 12 hours and, absolutely before 24 hours has passed from time after first placement. Saw joint nearest midpoint of strip (real and then half-way between cuts next).
13. Unless noted otherwise, minimum clear cover for reinforcement shall be as follows:
 - a concrete cast against earth - 3"
 - b formed concrete exposed to earth or weather - 1 1/2" for #5 bars and smaller, 2" for #6 bars and larger.
14. Immediately upon final troweling of slabs, coat with curing compound which meets or exceeds ASTM C-309 "Liquid Membrane-Fforming Compounds for Curing Concrete". Coverage shall not be less than 1 gallon per 150 square feet of slab area or more if recommended by curing compound manufacturer (minimum of 8 to 10 mil thick). Floors shall be finished to FF 35 and FL 25, minimum. Do not add calcium chloride or other salty compounds to concrete without specific authorization by Structural Engineer. In no case shall calcium chloride exceed 1 percent.
17. Use Portland Cement Type 1 or II conforming to ASTM C150-92. Aggregates shall be normal weight conforming to ASTM C33.
18. For every vertical or horizontal bar discontinued by an opening, one bar (min. of the bars) shall be added at the side of the opening. Slabs at corners of openings, cut-outs and penetrations shall be reinforced with 2-#4 (3'-0" long) diagonals unless otherwise noted.
19. Pipes, ducts, conduits, etc. shall not be placed in slabs unless approved by the engineer. (Place all pipes below slab).
20. Concrete exposed to weather shall be air-entrained 3.0% to 5.0%. Interior slabs shall have air content of 0% to 3% maximum.

	Building Outlet Corporation Multiple Buildings Waterloo, IA 50703 Date: 7/10/14 Scale: N.T.S. Drawn By: RML SPECIFICATION FO
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ACE
 447 JESSE LANE, SUITE 8
 OMAHA, IOWA 50422
 PHONE (402) 644-0455
 FAX (402) 971-0589



FOUNDATION PLAN
SCALE: N.T.S.

GENERAL NOTES:

Concrete: As per IBC '09 and ACI - 318

Loads:

Live Load = 125 p.s.f. (slab)
Dead Load = 50 p.s.f. (slab)

Slab is 4" thick resting on 4" Granular Fill Reinforced with Fiber Mesh or W.W.F.

Design Strength: $f'c = 3500$ p.s.i.

Minimum Cover:

Cast against earth = 3"
Exposed to earth or weather = 2"
All other reinforcement = 1 1/2"

Reinforcement:

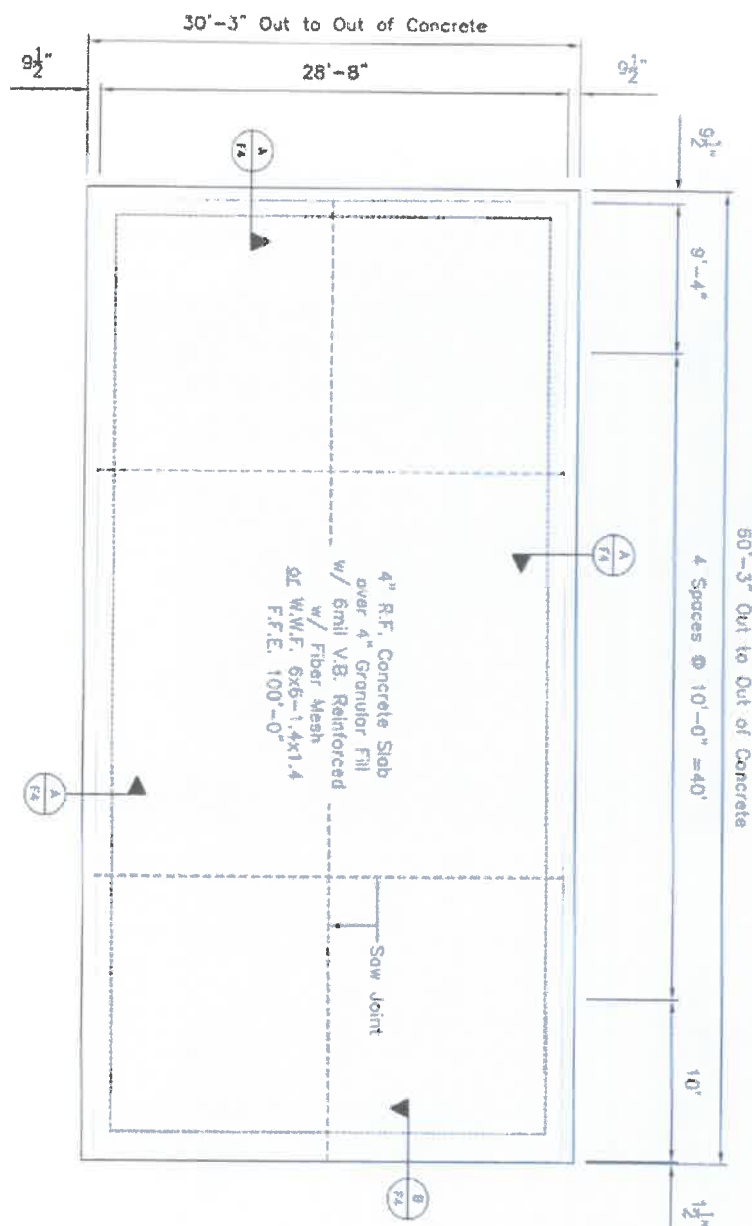
$f_y = 60,000$ p.s.i.
All tops shall be 48 x bar @ u.o.o.
#3 - 18"
#4 - 24"
#5 - 30"
#6 - 36"

Soils:
Allowable Bearing = 1500 p.s.f.

ACEFIELD
CONSULTING ENGINEERS
17450
447 JESSEN LAKE, SUITE B
GRAND ESTATES, SD 57032
PHONE (605) 371-0550
FAX (605) 371-0558



Building Outlet Corporation	
30'-0" x 60'-0" x 8'-6" - Bldg. A	
Date:	Waterloo, IA, 50703
Scale:	7/10/14
	N.T.S.
	Drawn By: RWJ
FOUNDATION PLAN	
F1	

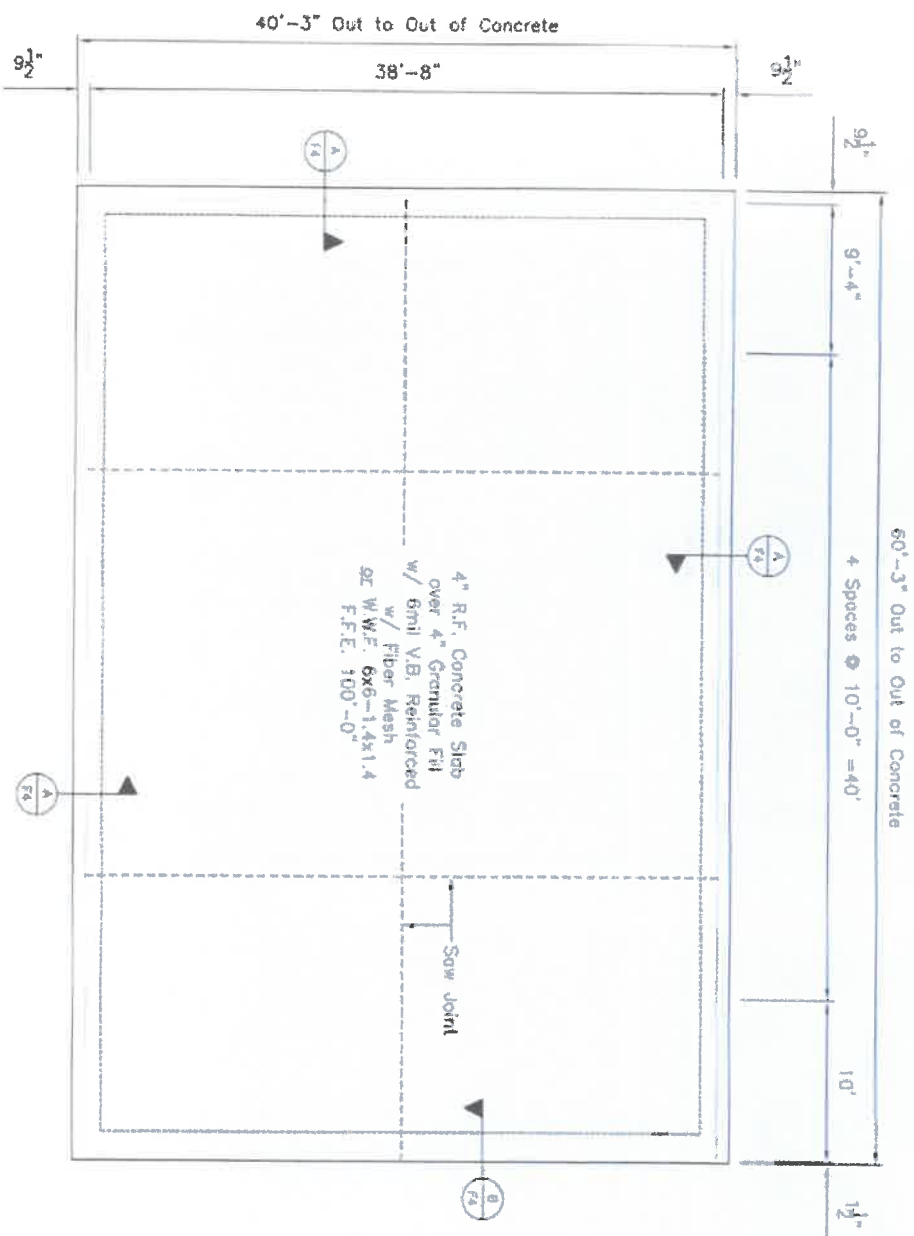


FOUNDATION PLAN
SCALE: N.T.S.

GENERAL NOTES:

- Concrete: As per IBC '09 and ACI - 318
- Loads:
 - Live Load = 125 p.s.f. (slab)
 - Dead Load = 50 p.s.f. (slab)
- Slab is 4" thick resting on 4" Granular Fill Reinforced with Fiber Mesh or W.W.F.
- Design Strength: $f'c = 3500$ p.s.i.
- Minimum Cover:
 - Cast against earth = 3"
 - Exposed to earth or weather = 2"
 - All other reinforcement = 1 1/2"
- Reinforcement:
 - $f_y = 60,000$ p.s.i.
 - All laps shall be 48 x bar ϕ u.n.o.
 - #3 - 18"
 - #4 - 24"
 - #5 - 30"
 - #6 - 36"
- Soils:
 - Allowable Bearing = 1500 p.s.f.

		Building Outlet Corporation 30'-0"x60'-0"x8'-6" - Bldg. B Waterloo, IA 50703	
ACE ENGINEERING & ARCHITECTURE 447 JENSEN LANE, SUITE B CHARLESTON, SC 29402 PHONE (843) 849 0466 FAX (843) 571 5369		Date : 7/10/14 Scale : N.T.S. Drawn By: RKJ	
FOUNDATION PLAN		F2	



FOUNDATION PLAN
SCALE: N.T.S.

GENERAL NOTES:
Concrete:
As per IBC '09 and ACI - 318

Loads:
Live Load = 125 p.s.f. (slab)
Dead Load = 50 p.s.f. (slab)

Slab is 4" thick resting on 4" Granular Fill Reinforced with Fiber Mesh or W.W.F.
Design Strength: $f'_c = 3500$ p.s.i.

Minimum Cover:
Cast against earth = 3"
Exposed to earth or weather = 2"
All other reinforcement = 1 1/2"

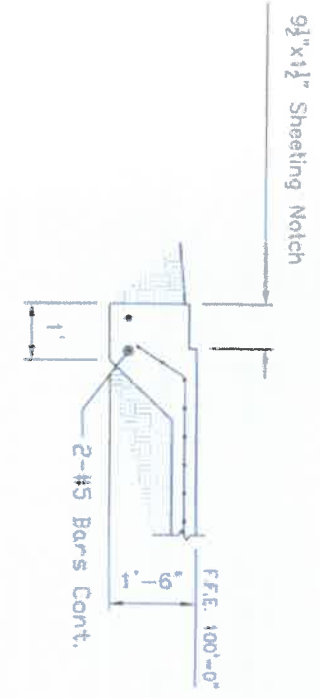
Reinforcement:
 $f_y = 60,000$ p.s.i.
All laps shall be 48 x bar ϕ u.n.o.
#3 - 18"
#4 - 24"
#5 - 30"
#6 - 36"

Soils:
Allowable Bearing = 1500 p.s.f.

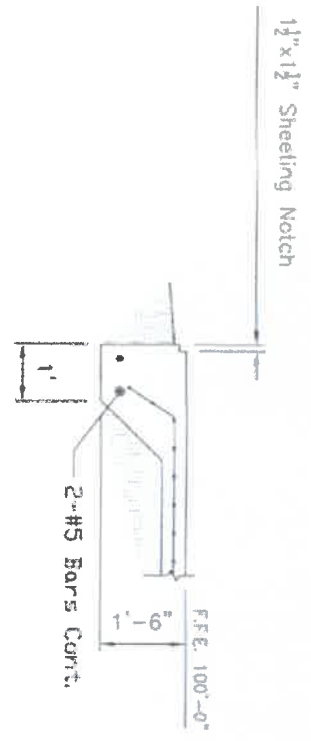
ACE P.L.L.C.
CONSULTING ENGINEERS
ARCHITECTS
INTERIORS
447 JESSE LANE, SUITE 100
CHARLESTON, SC 29402
PHONE: (803) 549-0425
FAX: (803) 571-0259



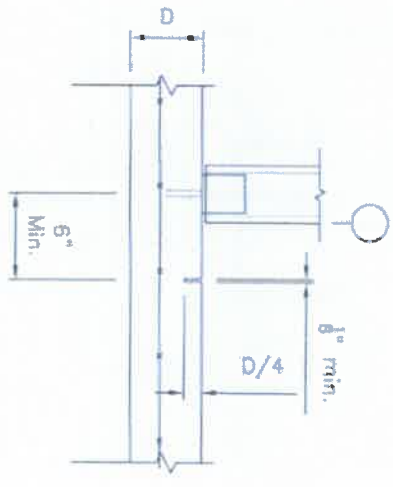
Building Outlet Corporation	
40'-0" x 60'-0" x 8'-6" - Bldg C	
Date:	7/10/14
Scale:	N.T.S.
Drawn By:	RKJ
FOUNDATION PLAN	
F3	



SECTION A
Scale: N.T.S.



SECTION B
Scale: N.T.S.



TYP. SAW JOINT
Scale: N.T.S.

ACER
CONSULTING ENGINEERS
ARCHITECTS
PLANNERS
INTERIORS

447 JESSEN LANE, SUITE B
DUBLUKE, IOWA 52002
PHONE: (319) 840-7900
FAX: (319) 971-0588



Building Outlet Corporation			
Multiple Buildings			
Waterloo, IA 50703			
Date	7/10/14	Drawn By	RKD
Scale	N.T.S.		
SECTIONS / DETAILS			F4



Wilmington

Illinois 60481

41.306686, -88.156478

BONDS, ZUMSTEIN & KONZELMAN

A PROFESSIONAL CORPORATION

ATTORNEYS AT LAW

54 North Ottawa Suite 360

JOLIET, ILLINOIS 60432-1396

TELEPHONE (815) 726-7331

FAX (815) 726-5874

brucezumstein@amcritech.net

**ALEXANDER BONDS
BRUCE L. ZUMSTEIN
BRUCE M. KONZELMAN**

December 27, 2021

VIA EMAIL: trhodes@odekirklaw.com

Thomas Rhodes

Re: Rampa sale to Alberico and Kempes
Wilmington vacant lot

Dear Mr. Rhodes:

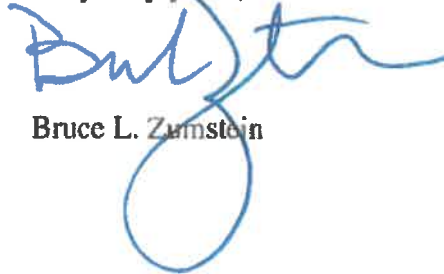
My firm represents Mr. David Rampa who informs me that he has verbally entered into an agreement with your clients, Christopher Alberico and Eric Kempes to purchase two (2) vacant lots on School Street in Wilmington, Illinois for \$103,000.00.

They were not sure if they would require financing but the parties are in agreement that the closing will occur in mid-February, 2022. You are receiving with this correspondence a copy of the real estate sales contract which you should review with your clients. The contract assumes that each buyer will acquire this real estate as a tenant in common. It is possible that they may want to form a company to take title to this investment real estate, and I am waiting for your instructions.

I have proceeded to order a title insurance policy from Fidelity National Title Insurance Company and your clients have seen a recent survey of this property and are not requesting any updates on the survey which is only about a year old.

Please confirm that you have received this contract and that you will be meeting with your clients to review it with them. Once they are satisfied I will expect that they will execute it and you can return it and the earnest money check to my office for presentation to the seller, David Rampa.

Very truly yours,



Bruce L. Zumstein

BLZ/mb

Attachment – contract

Cc D Rampa correspondence w attachment



BONDS, ZUMSTEIN & KONZELMAN, P.C.

REAL ESTATE SALE CONTRACT

1. Christopher Alberico and Eric Kempes of 812 Wildcat Court, Wilmington, IL 60481 (Purchaser) agrees to purchase at a price of \$103,000.00 on the terms set forth herein the real estate in the City of Wilmington, County of Will, state of Illinois commonly known as

131 School St., Wilmington, IL PIN No 17-16-404-005 and
161 School St., Wilmington, IL PIN No 17-26-404-016

2. David Rampa of 101 E. Chicago St., Unit 1, Wilmington, IL 60481 (Seller) agrees to sell the real estate and the property, if any, described above at the price and terms set forth herein, and to convey or cause to be conveyed to Purchaser or nominee title thereto by a recordable warranty deed as tenants in common with release of homestead rights subject only to: (a) covenants, conditions and restrictions of record and (b) general taxes for the year 2021 and subsequent years including taxes which may accrue by reason of new or additional improvements during 2022.

3. Purchaser has or will pay within three working days of the date of the acceptance of the contract by the seller the sum of \$5,000.00 as earnest money and agrees to pay or satisfy the balance of the purchase price, plus or minus prorations, at the time of closing by the payment of \$98,000.00. The earnest money shall be paid to Bonds, Zumstein and Konzelman Trust account and shall be held for the mutual benefit of the parties.

4. The time of closing shall be on or before February 18, 2022, unless mutually agreed otherwise, at the office of seller's attorney or the title insurance company later identified, provided title is shown to be good or is accepted by Purchaser. The closing of this transaction is subject to and dependent upon the Purchaser securing a purchase money mortgage from a bank or loan company in the amount of at least 70% of the purchase price. If buyer is unable to secure a firm commitment for such loan upon terms acceptable to purchaser at least three days prior to closing, Purchaser may elect to terminate this contract and receive back his earnest money deposit.

5. Seller shall deliver possession to Purchaser on the day the sale has been closed.

6. Seller and Buyer represent to each other that no real estate broker's commission is due or payable as a result of the execution of this contract and that they have not dealt with any real estate broker who has any right to any commission.

7. A duplicate original of this contract, duly executed by the Seller shall be delivered to the Purchaser within 3

days from the date below, otherwise, at the Purchaser's option, this contract shall become null and void and the earnest money shall be refunded to the Purchaser.

This contract is subject to the Conditions and Stipulations set forth below, which Conditions and Stipulations are made a part of this contract.

CONDITIONS AND STIPULATIONS

1. At least five business days prior to closing, Seller at his expense shall furnish Purchaser with a commitment for title insurance issued by a Fidelity National Title insurance Company, a licensed Illinois title insurance company, showing that the property is owned by Seller with no liens or other encumbrances affecting the title. It shall cover title to the real estate on or after the date hereof, showing title in the intended grantor subject only to (a) the general exceptions contained in the policy unless the real estate is improved with a single family dwelling or any apartment building of four or fewer residential units (b) the title exceptions set forth above, and (c) title exceptions pertaining to liens or encumbrances of a definite or ascertainable amount which may be removed by the payment of money at the time of closing and which the Seller may so remove at that time by using the funds to be paid upon the delivery of the deed (all of which are herein referred to as the permitted exceptions). The title commitment shall be conclusive evidence of good title as therein shown as to all matters insured by the policy, subject only to the exceptions as therein stated. Seller shall furnish Purchaser an affidavit of title in customary form covering the date of closing and showing title in Seller subject only to the permitted exceptions in foregoing items (b) and (c) unpermitted exceptions, if any, as to which the title insurer commits to extend insurance in the manner specified in paragraph 2 below. Purchaser shall pay the cost of any title insurance company escrow closing, unless Purchaser elects to have a cash closing of the transaction, at which time the parties shall bear the cost of any such escrow closing.

2. If the title commitment discloses unpermitted exceptions, Seller shall have 30 days from the date of delivery thereof to have the exceptions removed from the commitment or to have the title insurer commit to insure against loss or damage that may be occasioned by such exceptions, and, in such event, the time of closing shall be 35 days after delivery of the commitment or the time specified in paragraph 5 on the front page hereof, whichever is later. If Seller fails to have the exceptions removed, or in the alternative, to obtain the commitment for title insurance specified above as to such exceptions within the specified time, Purchaser may terminate this contract or may elect, upon notice to Seller within 10 days after the expiration of the 30 day period, to take title as it then is with the right to deduct from the purchase price liens or encumbrances of a definite or ascertainable amount. If Purchaser does not so elect, this contract shall become null and void without further actions of the parties.

3. Seller shall be responsible for all real estate taxes due or accruing as of the date of closing. If the 2021 real estate taxes have not yet been determined, Seller shall prorate the 2021 real estate taxes based on 105% of the most recently ascertainable real estate taxes for the property and the parties shall prorate the 2022 real estate taxes due in 2023 based on 105% of the most recently ascertainable bill. The amount of any general taxes which may accrue

by reason of new or additional improvements constructed in 2022 shall be paid by the purchaser. Seller shall bring current any and all sold, forfeited or delinquent real estate taxes.

Seller shall pay the amount of any stamp tax imposed by State law on the transfer of the title, and shall furnish a completed Real Estate Transfer Declaration form signed by Seller or the Seller's agent in the form required pursuant to the Real Estate Transfer Tax Act of the State of Illinois and shall furnish any transfer tax form required by the local municipality, if any, and the tax for such local municipality shall be paid by the party on whom such tax is placed, if any.

4. The provisions of the Uniform Vendor and Purchaser Risk Act of the State of Illinois shall be applicable to this contract.

5. If this contract is terminated without Purchaser's fault, the earnest money shall be returned to the Purchaser, but if the termination is caused by the Purchaser's fault, then at the option of the Seller and upon notice to the Purchaser, the earnest money shall be forfeited to the Seller and applied first to the payment of Seller's expenses and then to payment of broker's commission; the balance, if any, to be retained by the Seller as liquidated damages.

6. Time is of the essence of this contract.

7. All notices herein required shall be in writing and shall be served on the parties at the addresses set forth above. The mailing of a notice by registered or certified mail, return receipt requested, or personal hand delivery or standard overnight commercial delivery service shall be sufficient service.

8. Purchaser and Seller hereby agree to make all disclosures and do all things necessary to comply with the applicable provisions of the Real Estate Settlement Procedures Act of 1974. In the event that either party shall fail to make appropriate disclosure when asked, such failure shall be considered a breach on the part of said party.

9. Seller shall deliver to the Purchaser at or prior to closing a true copy of a certain survey of the property performed by Chamlin and Associates dated June 11, 2020 together with Seller's affidavit that he has performed no work or done anything to alter the condition of the property since the last survey and that to the best of his knowledge and information, he is unaware of any boundary line disputes or encroachments affecting the property and that all easements to the property are shown by such June 11, 2020 survey. Seller has no duty or obligation to update or pay for any updated survey of the premises.

10. The parties acknowledge that Seller may utilize at his expense the services of a tax free intermediary for an Internal Revenue Service Code Sec. 1031 tax free exchange, and they agree to execute any and all documents necessary or helpful to allow Seller to sell such property as relinquished property, provided it shall not require Purchaser to extend the time of closing and Purchaser shall not be compelled to expend any funds relating to the sale of the property by the Seller in a tax free exchange.

Dated: Feb 9, 2022, 2022

Purchaser:

Christopher Alberico

Christopher Alberico (Feb 9, 2022 14:36 CST)

CHRISTOPHER ALBERICO

Seller:

DAVID RAMPA



Eric Kempes (Feb 9, 2022 14:46 CST)

ERIC KEMPES

rampa_20020209003905 (1)

Final Audit Report

2022-02-09

Created:	2022-02-09
By:	Hayley Graf (hgraf@odekirklaw.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAA5bCk9rjNQc9dxWp470u3sEMbV9GqRgwp

"rampa_20020209003905 (1)" History









-  Document created by Hayley Graf (hgraf@odekirklaw.com)
2022-02-09 - 8:30:47 PM GMT- IP address: 98.227.71.30
-  Document emailed to Christopher Alberico (calberico@lindbladconstruction.com) for signature
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-  Agreement completed.
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EXHIBIT "A"
Legal Description

Parcel p

Lot 14, as designated on the plat of Subdivision of Block 11 of the Subdivision of South part, South of Chicago, Alton and St. Louis Railroad, of Southeast Quarter of Section 26, Township 33 North, Range 9, East of the Third Principal Meridian, according to the plat thereof recorded August 11, 1878, in Will County, Illinois.

Parcel 2

Beginning at a point that is 2.75 chains North of a point 22.75 chains East of the Southwest corner of the Southeast Fractional Quarter of Section 26, for the place of beginning, running thence North 2.25 chains; thence West 2.25 chains; thence South 2.25 chains; and thence East 2.25 chains to the place of beginning; said premises being formerly platted and described as Lot 15 of the Subdivision of Block 11, of the Subdivision by the Heirs of S.C. Thompson, deceased, of the East part of the South Half of the Southeast Fractional Quarter of said Section 26, the plat thereof having been heretofore vacated; all in Township 33 North and Range 9, East of the Third Principal Meridian, in Will County, Illinois

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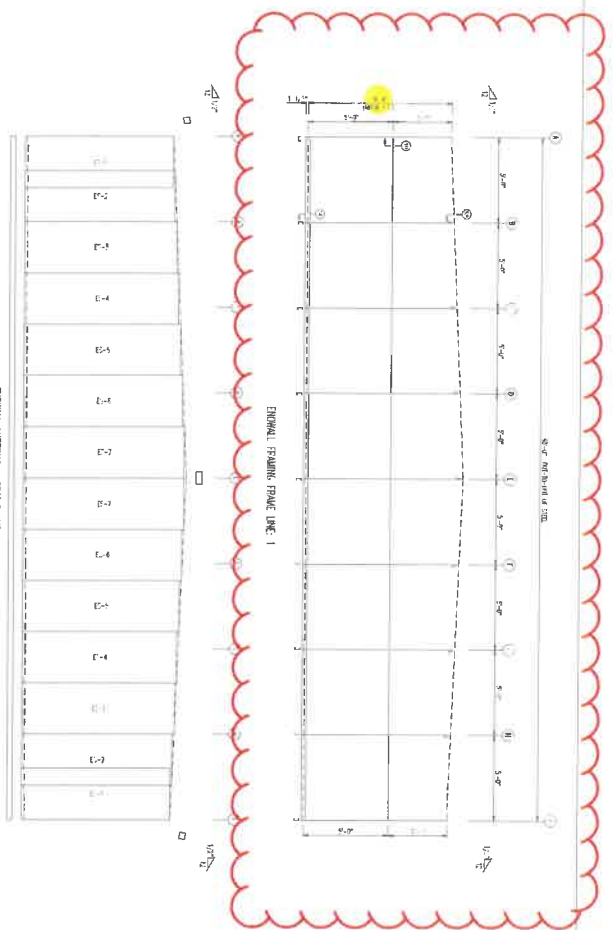
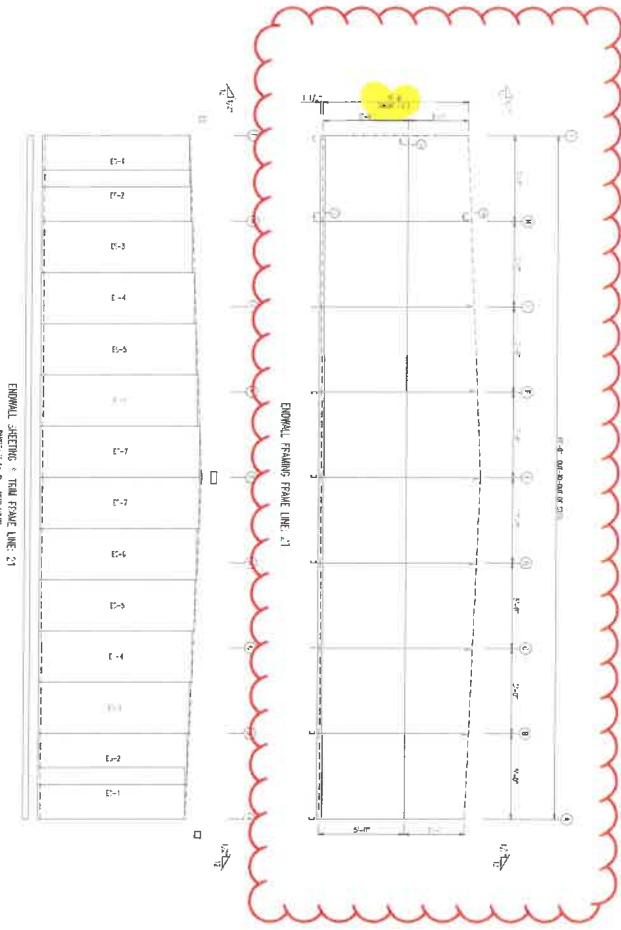
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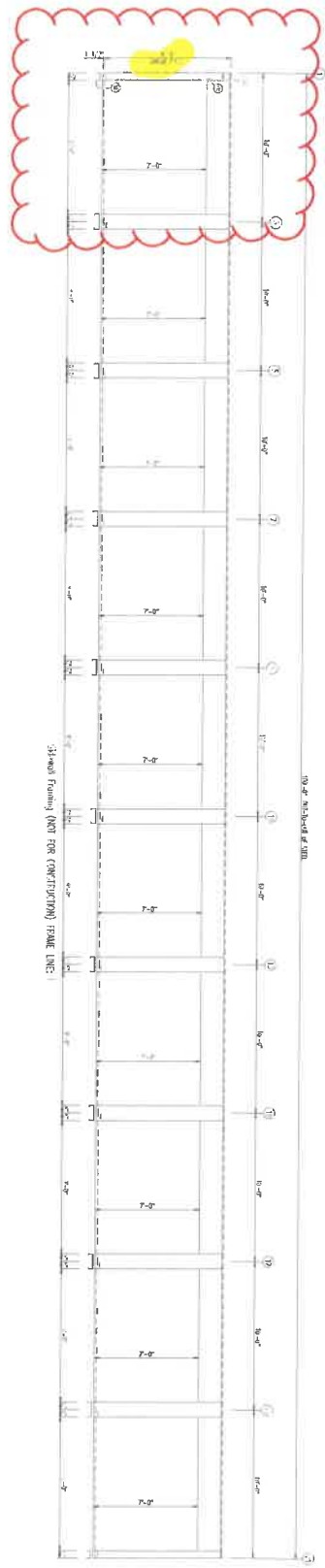
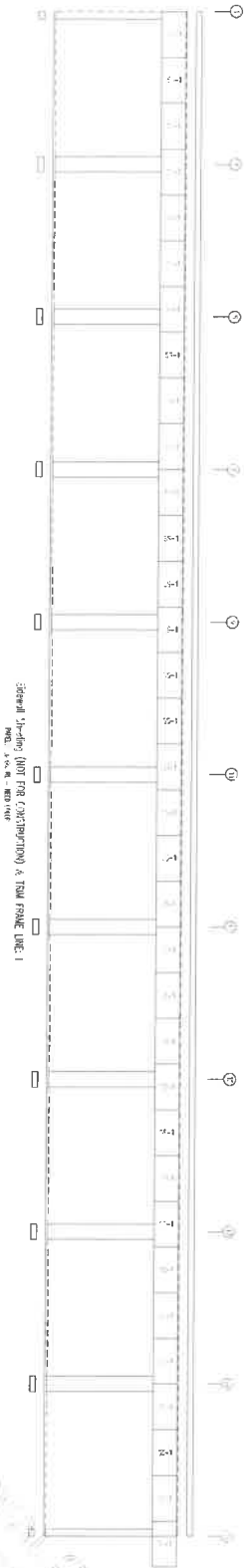
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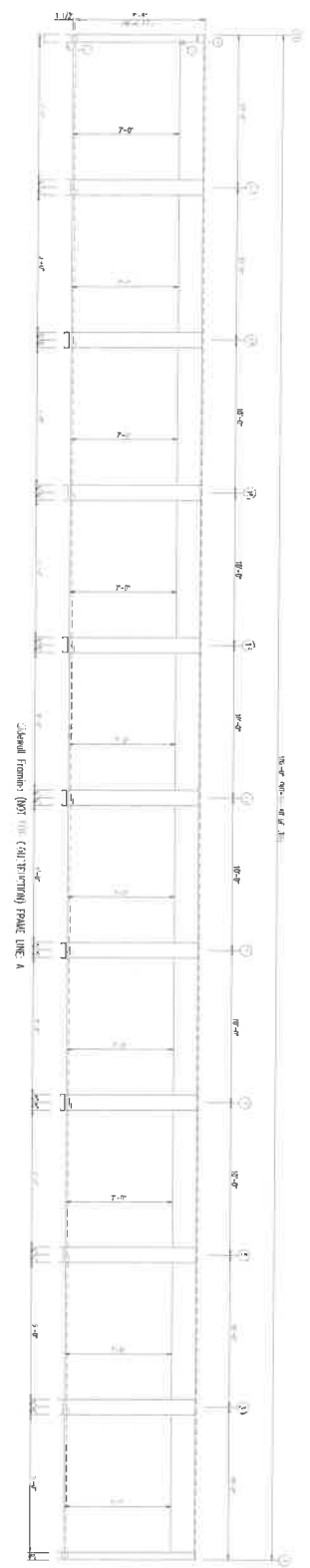
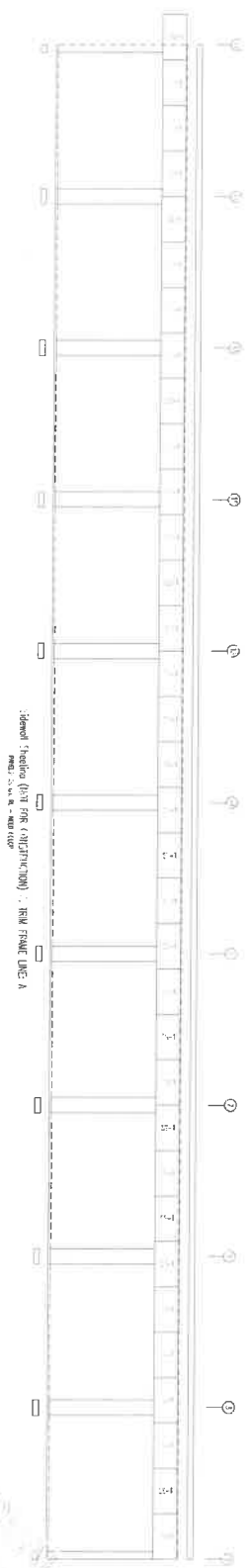
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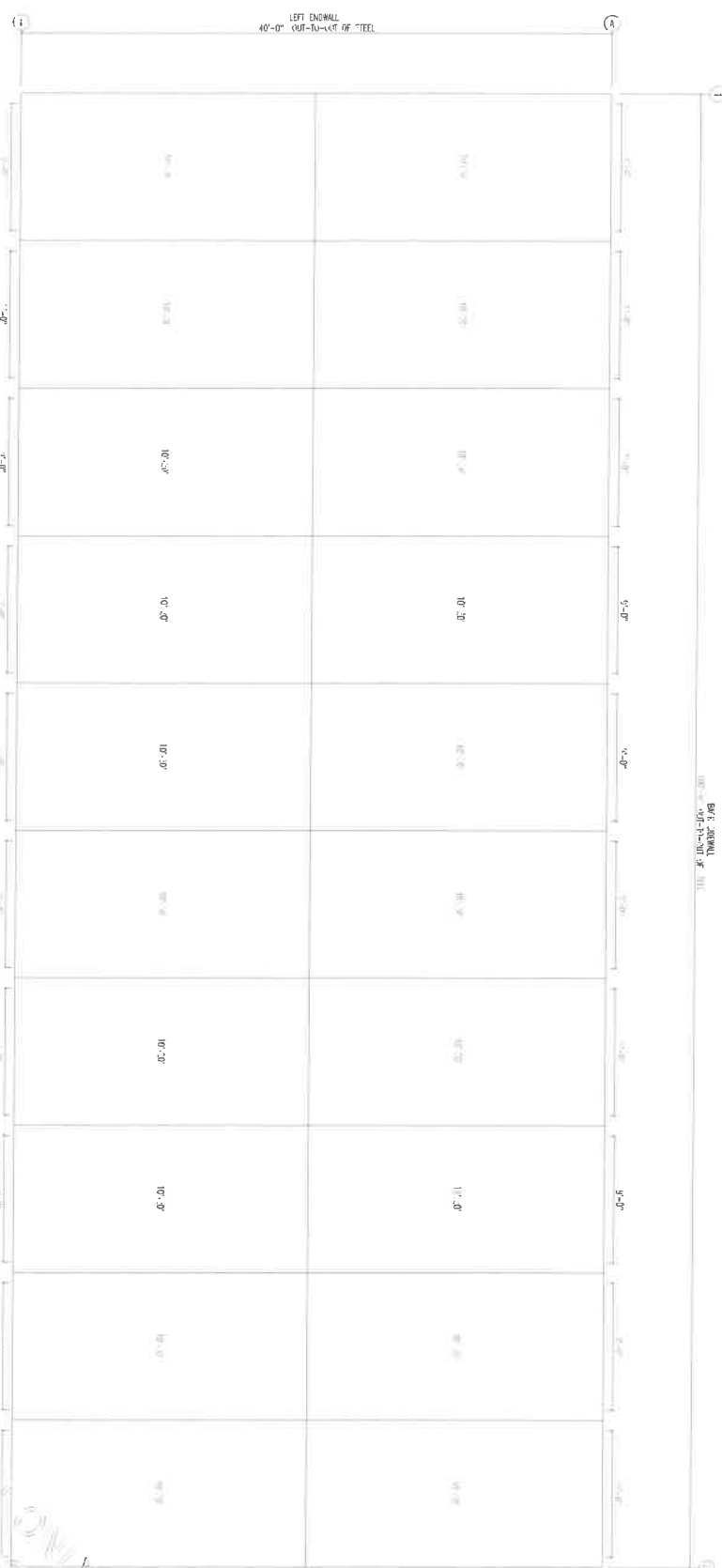
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STATE IL

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FLOOR PLAN

FLOOR PLAN

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RIGHT ENDWALL

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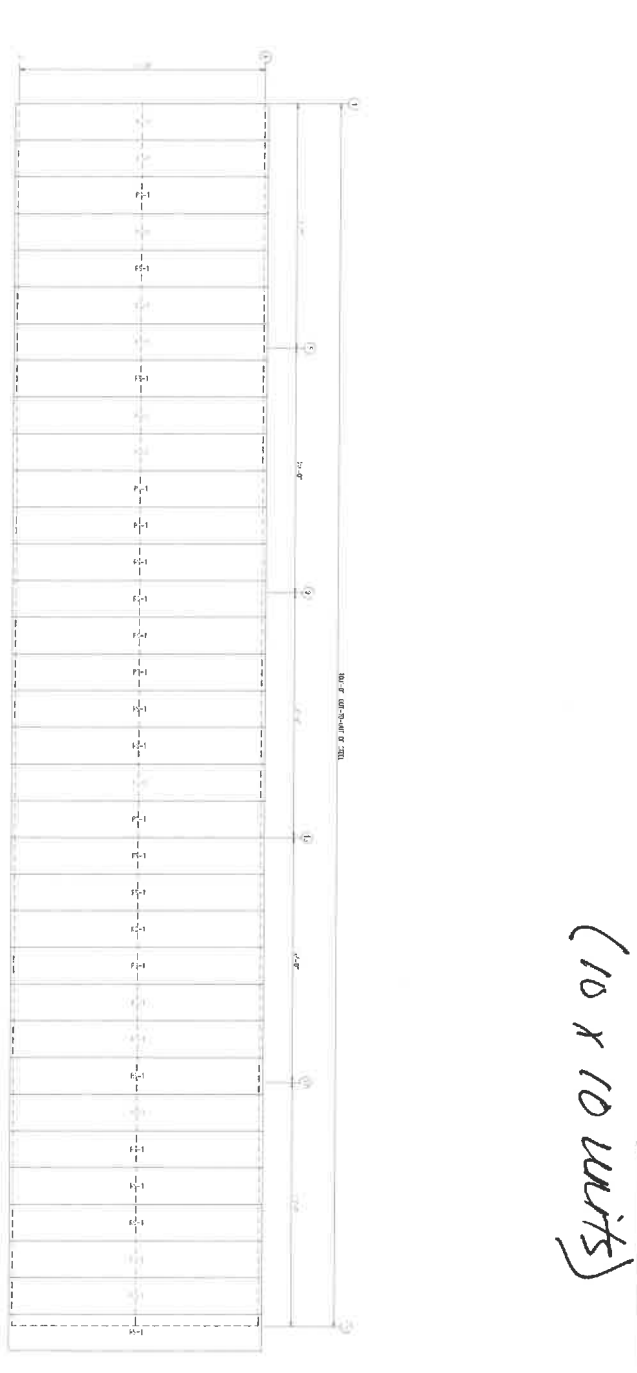
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DRAWING INDEX:

1.0	GENERAL NOTES
2.0	FOUNDATION
3.0	FLOOR SLAB
4.0	WALLS
5.0	ROOF
6.0	MECHANICAL
7.0	ELECTRICAL
8.0	PLUMBING
9.0	PAINT
10.0	FINISH

KEY PLAN:

1.0	FOUNDATION
2.0	FLOOR SLAB
3.0	WALLS
4.0	ROOF
5.0	MECHANICAL
6.0	ELECTRICAL
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8.0	PAINT
9.0	FINISH



PROF. RICHARD A. THOMAS
 ARCHITECT

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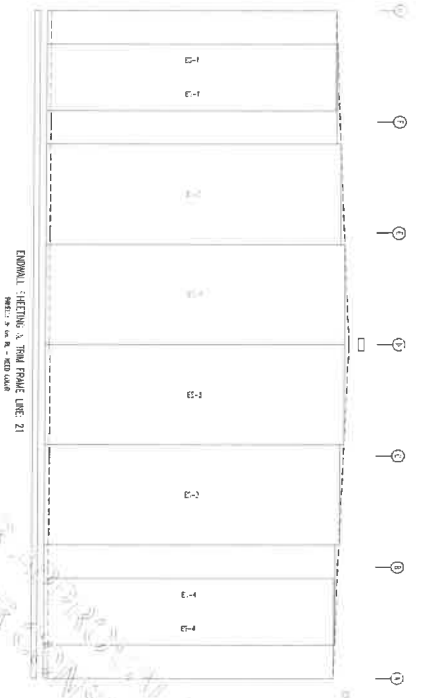
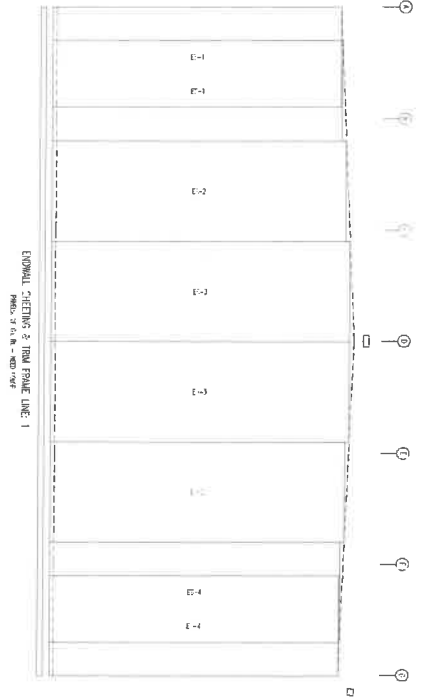
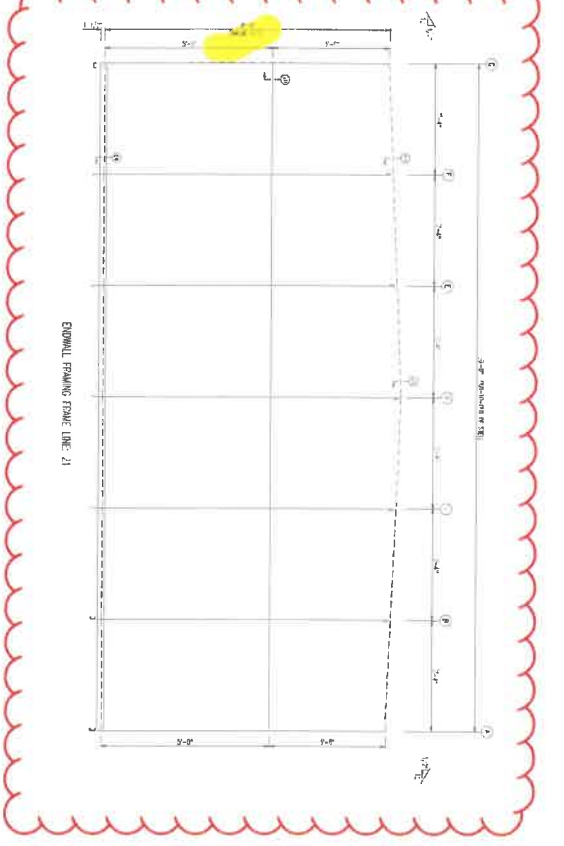
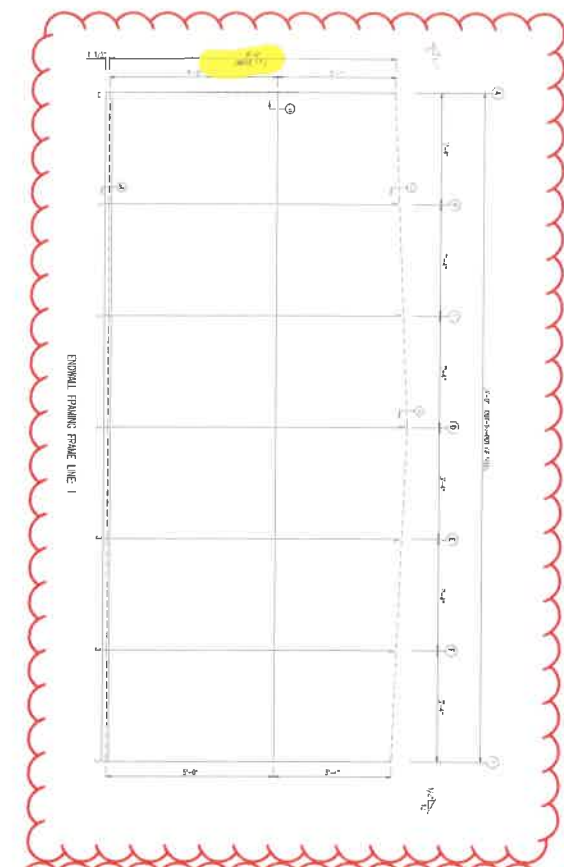
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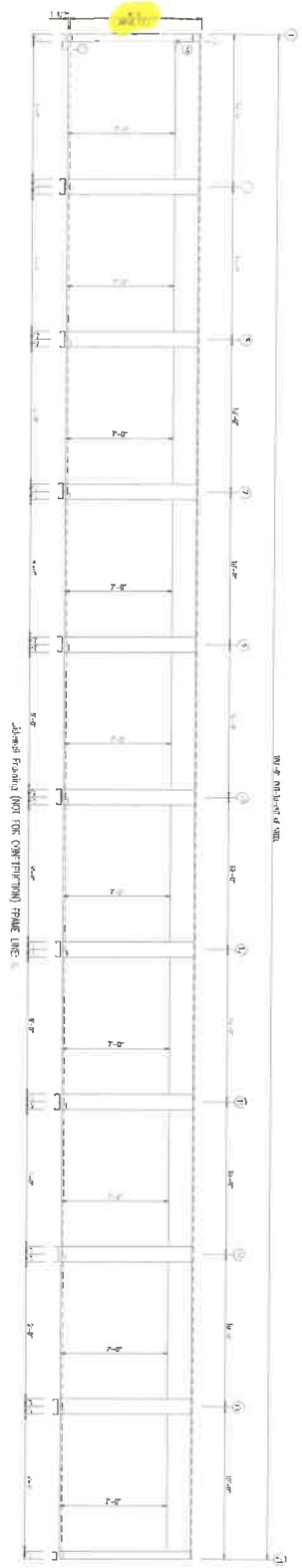
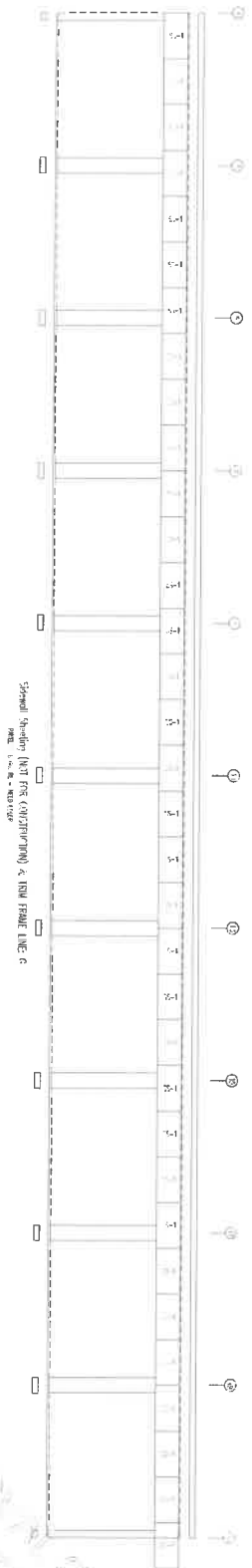
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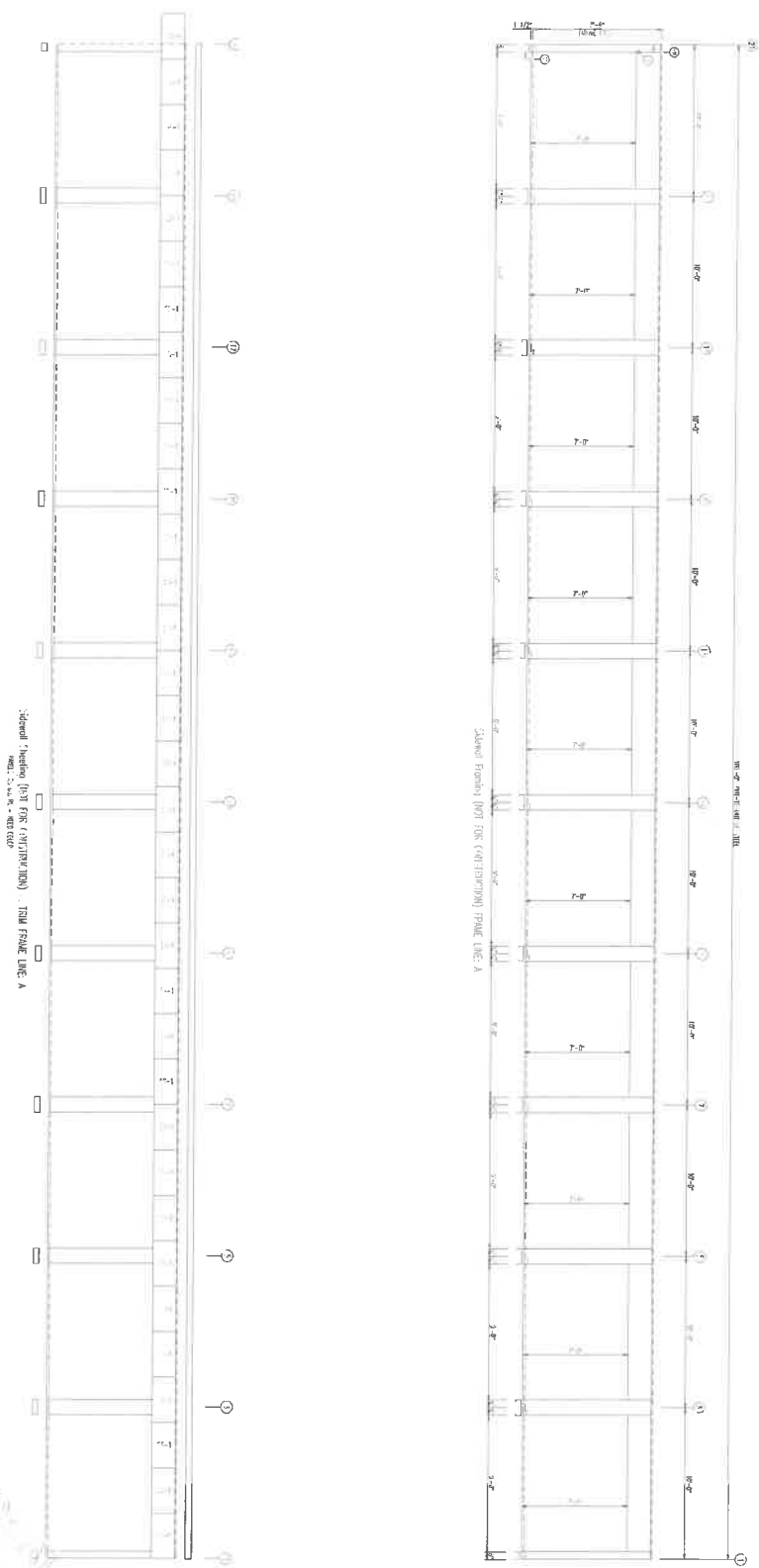
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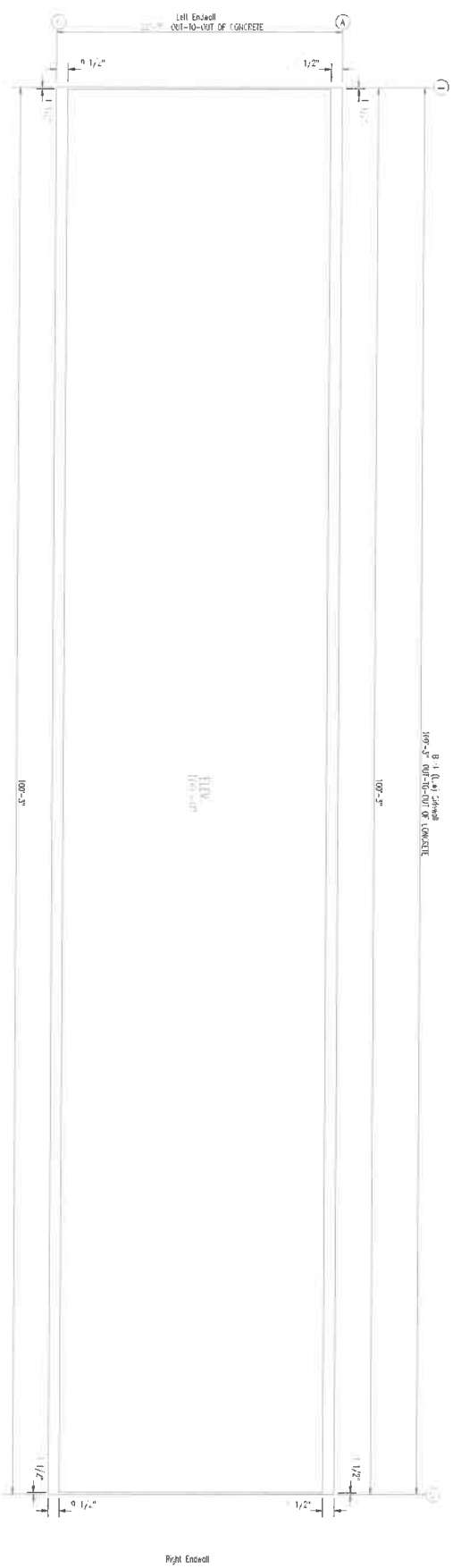
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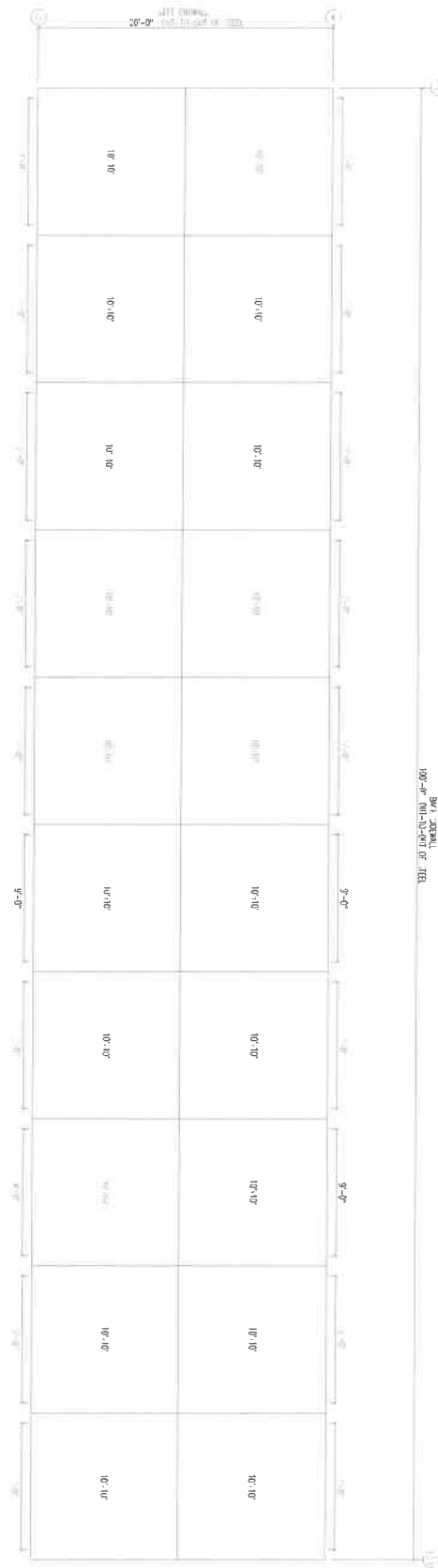
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FLOOR PLAN



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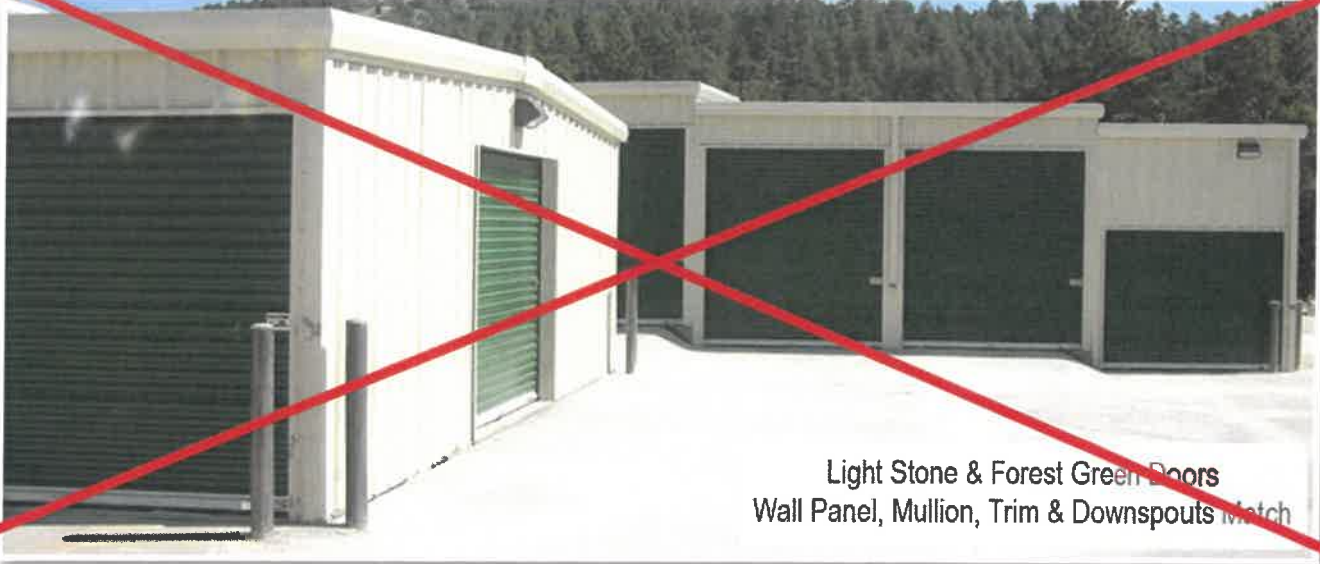
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Mini Storage Color Samples

Example 1: Downspouts & Trim Match Wall Color



Example 2: Gutters Matches Trim & Mullion Color w/ Downspouts Matching Wall Color



Example 3: Downspouts Match Trim Color and Mullions Match Wall Color



Mini Storage Color Samples

Example 4: Doors, Trim & Walls Each a Different Color



Example 5: Trim, Mullions, Gutters & Downspouts All Match



Example 3: Trim Matches Doors w/ Walls & Mullions Matching





Charcoal
Thrifty | Prime



Desert
Prime



Gray
Thrifty | Prime



Polar
Thrifty | Prime



Brilliant
Prime



Fern
Prime



Hunter
Thrifty | Prime



Colony
Prime



Crimson
Prime



Rustic
Thrifty | Prime



Burgundy
Prime



Gallery
Prime



Hawaiian
Prime



Light Stone
Thrifty | Prime



Tan
Thrifty | Prime



Brown
Thrifty | Prime



**Burnished
Slate**
Prime

CENTRAL **GUARD**[®] POWERED BY **valspar**

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Industrial Color Selection Tool

M-Loc™
R-Loc™



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All colors meet ENERGY STAR® requirements for steep slope roofs.

Galvalume[®]
Prime
Clear acrylic coating
HOT ENERGY STAR RATED



Copper Metallic*
Prime
Fluropon[®] 70% PVDF



* Copper Metallic available in Fluropon[®] 70% PVDF only. Contact your sales person for accurate pricing. Copper Metallic panels must be installed in the same direction. See directional arrows or stickers provided on your panels. Color variation between orders is normal and not cause for rejection.

† Weathering and appearance variation, including color, sheen, and spangle, is common in non-painted materials and is not a cause for rejection. For consistent appearance, choose a paint-finished product.

Colors on this chart are close representations of actual metal color, limited by printing and viewing conditions. Color matching is optimized for outdoor viewing.



JANUS | COLOR CHART

INTERNATIONAL GROUP

First generation doors used polyester paint, and second generation doors used a siliconized polyester. Now there's a more flexible, longer warranty alternative: Super Durable Polyester (SDP) paint. Only at Janus International.*

SDP paint offers greater flexibility, corrosion resistance and hardness...all important features when you consider the daily wear and tear your steel doors receive.

Our coil coating color selections are available for 26 gauge materials, such as our sheet doors and filler panels and components.

All colors here are stocked and backed by a 40 year film integrity warranty, guaranteed to hold up against peeling, cracking, blistering, flaking, splitting or delaminating. In addition, these colors are guaranteed not to fade or change color for 25 years. Refer to the complete official warranty in this brochure.

STANDARD COLORS



Bronze



Cedar Red



Continental Brown



Desert Sand



Desert Tan



High Gloss White



LG (Forest) Green



Light Stone



Sandstone



Satin White



Silhouette Gray

SPECIALTY COLORS

Tier 1: Colony Green, Evergreen, Fern Green, GS Blue, GS Green, Polar Blue, Royal Blue, Smart Blue, Sunset Orange, Teal, Ultra Marine Blue

Tier 2: Patriot Red, Sierra Sunset, PST Orange, Valentine Red, EXR Wasabi

Tier 3: Dark Teal, Maroon, Safety Yellow, UB Yellow

Tier 1, 2 & 3 colors are priced slightly higher than Standard colors due to pigmentation processes and other factors.

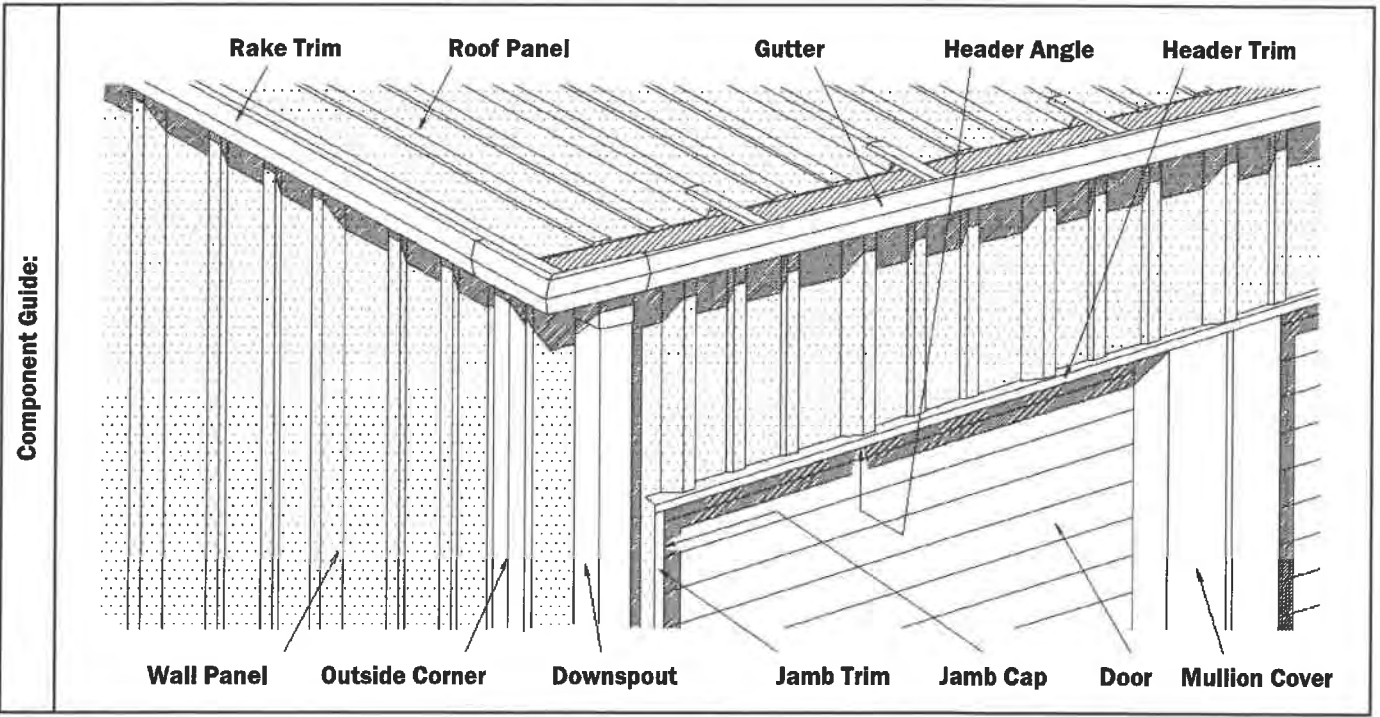
Please contact **770.562.2850** or marketing@janusintl.com for actual steel color samples.

Mini Storage Color Selection Form

1-800-486-8415 | Fax: 303-948-2059 | Email: info@ministorageoutlet.com

Project:	Name:	
	Address:	
	Customer:	Phone: ()
	Approval Signature:	FAX: ()

Component Color Selection:	Color Groups	Colors	Components in Group
	Roof Panel-	<i>Galvalume STD</i>	Roof Panel, Gutter Strap
	Wall Panel-		Wall Panel, (Base Flashing)
	Rake/Gutter Trim-		Rake Trim, Gutter, High Eave Trim, Corner Box, Peak Box
	Downspout-		Downspout, Downspout Strap
	Eave Trim-		Eave Flashing (No Gutter)
	Outside Corner Trim-		Outside Corner Trim, (Inside Corner Trim)
	Mullion/Door Opening Trim-		Header Angle, Jamb Cap, Mullion Cover
	Jamb/Header Trim-		Jamb Trim, Header Trim
	Door Color-		(per door manufacturer's color chart)



Notes:		
	PG	OF

DUSK-TO-DAWN

SPEC SHEET



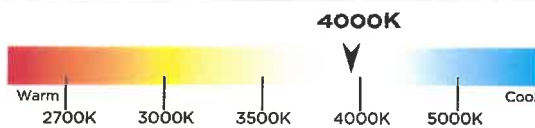
Commercial Electric's Outdoor High-Output LED Wall Pack and Area Security Light with integral Dusk to Dawn photocell features high-performance LEDs saving 85% on energy bills. Its dimensions match most 150-Watt traditional metal halide commercial wall packs allowing for easy upgrades and replacements. Dimming feature enables the user to control the amount of light output, from ambient to high-output brightness of 6,800-Lumen. The Dual-Control Enabled feature allows for both Dusk to Dawn operation for automatic nighttime on/daytime off ensuring efficient energy usage or normal Switch-Controlled operation for more hands on control.



LIGHTING PERFORMANCE

LUMENS	6800
SYSTEM WATTAGE	50W
MOUNTING	Wall Mount
FREQUENCY	50-60 HZ
THD	<20%
PF	>0.9
AMBIENT OPERATING RANGE	-20-40°C
INPUT VOLTAGE	120-277V
EFFICACY	>136 LM/W
LED CHIP	Lumileds® LED
DRIVER	YG* driver technology
PHOTOCELL	Yes
DIMMABLE	Yes (0-10V)
DRIVER EFFICIENCY	>85%
STANDARD LIFETIME	>50,000 hours
STANDARD WARRANTY	5 Years
WATER PROOFING GRADE	IP65
WEIGHT	12.12 lbs
CCT	4000 Kelvin (Bright White)
DIMENSIONS	14.3" x 7.5" x 9.2"

LIGHT APPEARANCE (CCT)



*All results according to IESNA - LM79-2008
*Light Output reported as total integrated lumens (light source & fixture)

PRODUCT PERFORMANCE AT A GLANCE

SYSTEM WATTAGE	LED WATTAGE	LUMENS	LP/W	CRI	REPLACES (MH)
50W	45W	6800 lm	136 lm/w	≥70	175W

HOUSING

High-grade commercial quality die-cast aluminum housing with UV-stabilized borosilicate prismatic glass lens, mounted with stainless steel hardware.

IP RATING & LISTINGS

LED light engine is weather proof rated IP65.
DLC 4.2, cULus, FCC Certified

OPTICS

Direct LED distribution with white reflective light distribution refractor. Prismatic glass lens reduces glare while providing even and wide light distribution.

MOUNTING

Easy knock-outs on back box allows mounting to any standard 3 1/2" to 4" square and octagonal or 4 inch round electrical junction boxes. Can also be flush mounted to any surface and wired via conduit entries.

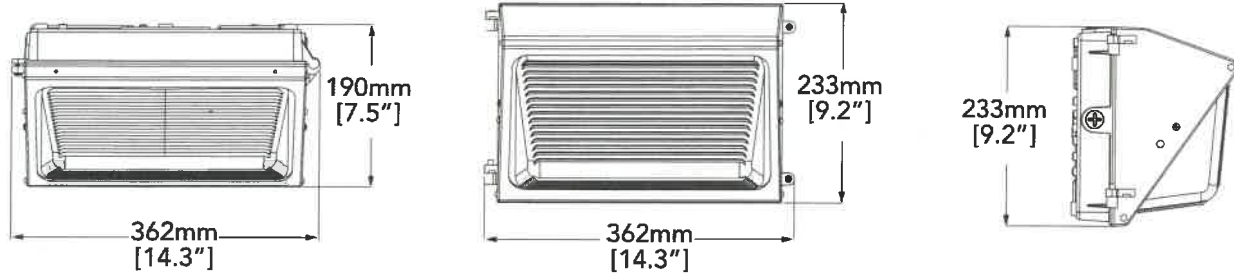
FINISH

Fade, weather, and abrasion resistant. electrostatically applied, thermally cured, triglycidyl isocyanurate (TGIC) textured polyester powdercoat finish. Paint is dark bronze.

APPLICATION

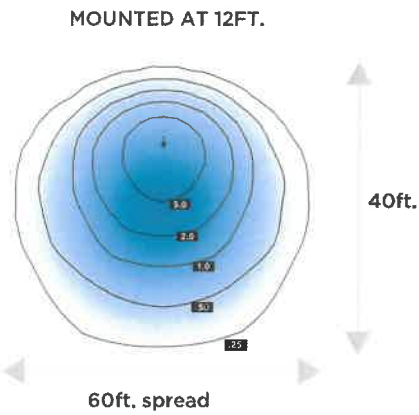
Ideal for both residential and commercial applications requiring high brightness and a large coverage area. Perfect for wall perimeter lighting, garages, large backyards, commercial loading bays, warehouses, apartment complexes, hotels, office and retail complexes.

PRODUCT LINE DRAWING

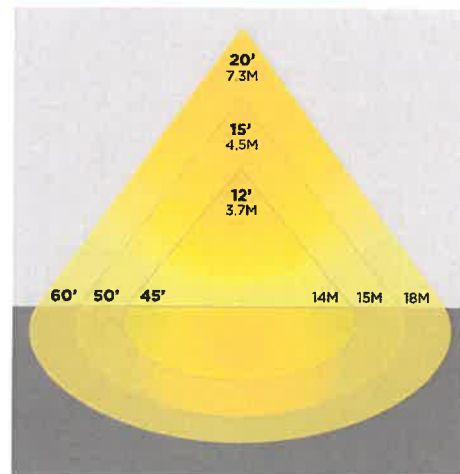


SUGGESTED MOUNTING HEIGHT:
8-20FT. (2.4-6M)

2D PHOTOMETRIC VIEW



3D PHOTOMETRIC VIEW

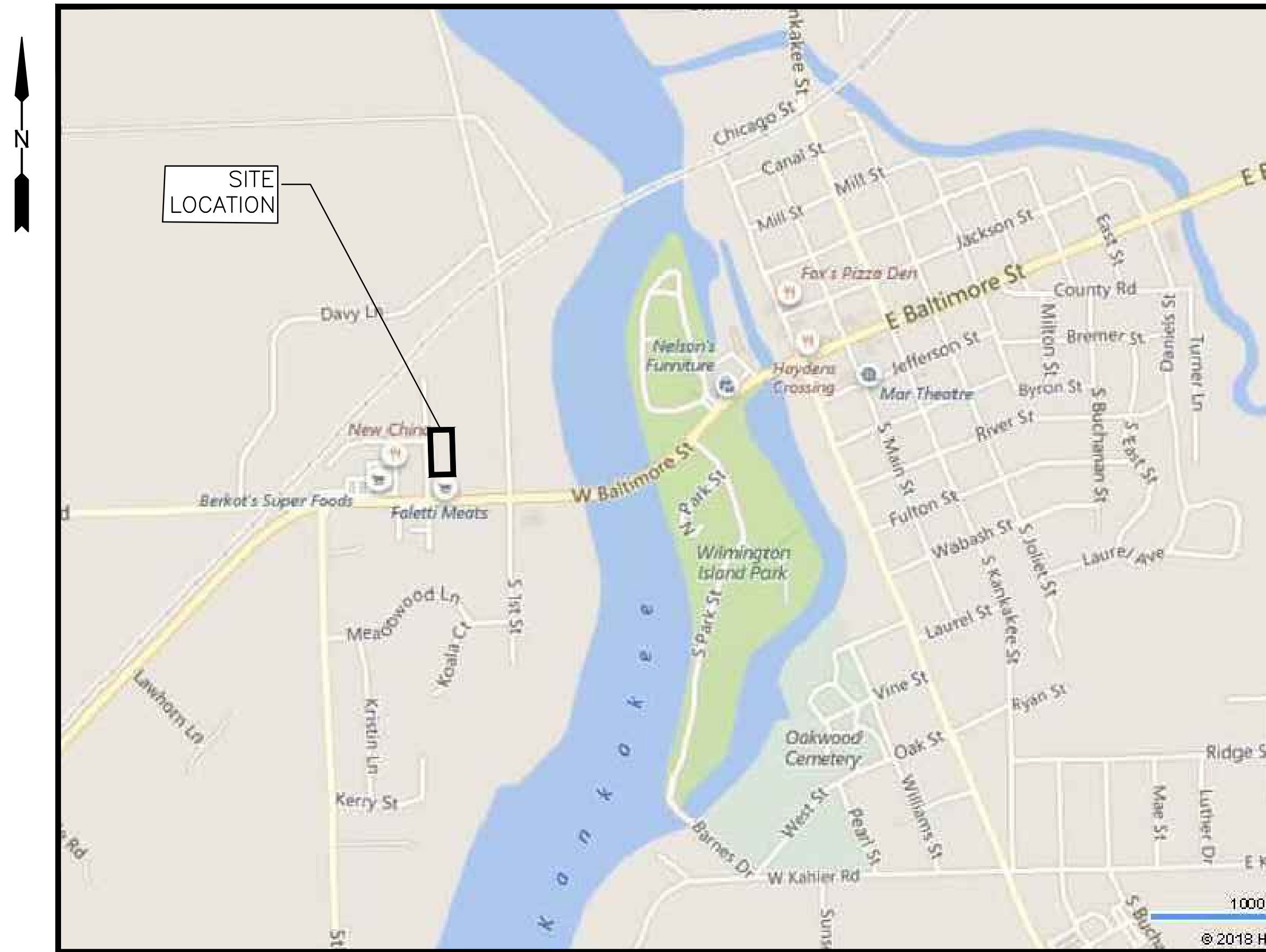


APPLICATIONS



KAV DEVELOPMENT, INC. SELF STORAGE UNITS SCHOOL STREET, WILMINGTON, ILLINOIS

LEGEND	
	BOUNDARY OF PROPERTY
	BUILDING SETBACK LINE
	EXISTING LOT LINE
	EXISTING RIGHT-OF-WAY
	EXISTING EASEMENT
	EXISTING WATER MAIN
	EXISTING GAS
	EXISTING CENTERLINE
	EXISTING FENCE
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	PROPOSED WATER MAIN/SERVICE
	PROPOSED SANITARY SEWER/SERVICE
	PROPOSED SILT FENCE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING TREE W/ SIZE
	EXISTING BUSH W/ SIZE
	EXISTING GAS METER
	EXISTING SIGN
	EXISTING MANHOLE
	EXISTING WATER SERVICE VALVE
	EXISTING FIRE HYDRANT
	EXISTING UTILITY POLE
	PROPOSED FIRE HYDRANT
	PROPOSED WATER SERVICE SHUTOFF
	IRON PIPE FOUND
	IRON ROD FOUND
	CONCRETE
	TOP OF FOUNDATION
	FINISHED FLOOR
	PROPOSED INLET
	PROPOSED SANITARY MANHOLE
	PROPOSED CATCH BASIN
	PROPOSED LIGHT POLE



INDEX OF SHEETS:

- 1 COVER SHEET
- 2 NOTES & DETAILS
- 3 EXISTING CONDITIONS & DEMOLITION PLAN
- 4 GRADING & EROSION CONTROL PLAN
- 5 GEOMETRY PLAN
- 6 LANDSCAPE PLAN

OWNER

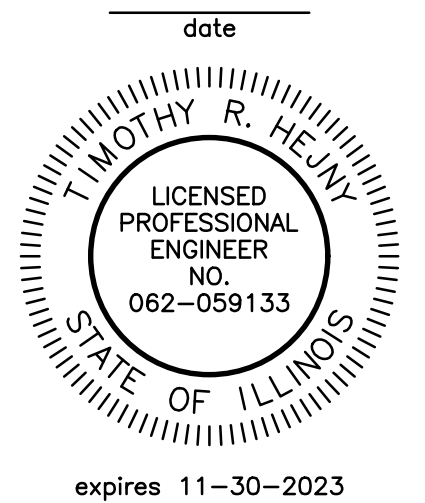
KAV DEVELOPMENT, INC.
398 W BALTIMORE STREET
WILMINGTON, ILLINOIS 60481
ATTN: ERIC KEMPES
PH: (630) 750-1279
erickempes08@yahoo.com

SURVEYOR / ENGINEER

CHAMLIN & ASSOCIATES, INC.
221 WEST WASHINGTON STREET
MORRIS, ILLINOIS 60450
ATTN: TIMOTHY HEJNY
timhejny@chamlin.com
PHONE: (815) 942-1402
FAX: (815) 942-1471

BENCHMARKS

NAIL IN POWER POLE EAST SIDE
OF SCHOOL STREET AT SOUTHWEST
CORNER OF VFW PROPERTY.
ELEV=555.75



signature
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-001717



		REVISIONS						
		LEVEL	BY	DATE	DESCRIPTION			
DRAWN BY: TRH		1	TRH	2/16/22	REVISED PER ENGINEER			
CHECKED BY: CJM		2	TRH	2/28/22	REVISED PER CITY			
DATE: 2/04/2022		3	TRH	3/17/22	REVISED LANDSCAPE PLAN PER CITY			

DRAFT PLANS

CURRENT AS OF: 2/09/2022	
JOB NO.: 3977.00	SHEET 1
FILE NO.: -	OF 6

GENERAL NOTES

The Illinois Department of Transportation "Standard Specifications for Road and Bridge Construction" adopted January 1, 2022, and Supplemental Specifications and Recurring Special Provisions (latest edition) and the "Standard Specifications for Water and Sewer Construction in Illinois" 8th Edition 2020 shall govern applicable portions of this project.

It shall be the responsibility of the Contractor to examine the Plans and Specifications, visit the work site, be informed of the work involved, be informed of federal, state, and local laws, local code requirements, ordinances, rules and regulations, and any other items which may affect the cost and/or time to complete the project. It is the Contractor's responsibility to notify the Engineer should any discrepancies be noticed between the Plans, Specifications, or work site.

The location of existing underground or overhead utilities if shown on the Plans is for the convenience of the Bidder only. The Owner and/or Engineer assumes no responsibility whatsoever with respect to the accuracy or completeness of the information shown. It shall be the responsibility of the Contractor to determine the actual location of all such utilities.

The Contractor shall be responsible for the proper protection of all existing public or private roadways, structures, and utilities prior to the start of construction and shall be responsible for any damage to said roadways, structures, and utilities. Any roadway, structure, or utility that is damaged during construction shall be repaired or replaced by the Contractor at the Contractor's expense.

When survey control points are set by the Engineer to establish the horizontal and vertical control required for the construction of the various contract items of work, the Engineer shall be responsible for the accuracy of the control points set. The Contractor shall assume full responsibility for all measurements taken or derived by the Contractor from control points set by the Engineer.

The Contractor shall protect and preserve all control points or reference stakes set by the Engineer. Should the Contractor disturb any control point or reference stake without the prior approval of the Engineer, the Engineer may deduct the direct engineering cost incurred in the re-establishment of the control point or reference stake from compensation due the Contractor.

Traffic control shall be in accordance with applicable portions of the Illinois Department of Transportation "Standard Specifications for Road and Bridge Construction" adopted January 1, 2022, and Supplemental Specifications and Recurring Special Provisions (latest edition) and the latest edition of the "Illinois Manual for Uniform Traffic Control for Streets and Highways". The Contractor shall be solely responsible for use of appropriate Illinois Department of Transportation Highway Standards pertaining to traffic control for the entire duration of the project and solely liable for any accidents, which may occur due to inadequate traffic control.

All roadways and driveways shall remain open throughout the project unless prior consent is granted by the Municipality and/or the State for any Contractor-requested roadway closures. The Contractor shall make arrangements or schedule work so that access to properties within the work site is maintained at all times.

Unless otherwise provided, traffic control shall be considered incidental to the contract.

All field tiles encountered during construction shall be routed to the storm water system. The Contractor is required to consult with the Municipality regarding the disposition of any field tiles encountered.

Should hazardous materials be encountered during construction, the Contractor shall immediately notify the Owner or Owner's Representative.

All clean construction demolition debris (CCDD) certification/disposal (if required) shall be the responsibility of the Contractor.

Soil erosion and sediment control shall be in accordance with applicable portions of the Illinois Urban Manual, latest edition.

Provisions shall be made to minimize the transport of sediment by vehicular traffic from the construction site. All streets shall be cleaned daily or as necessary to keep clean of sediment and debris caused by construction activities. Adjacent properties shall be protected from sediment deposition by use of an acceptable erosion control practice such as vegetative buffer strips or sediment barriers. Should an erosion control item not be included as a Bid Item or not be addressed per Special Provision and be determined necessary by the Engineer, those items will be paid for at a pre-approved unit price.

For construction sites with one (1) acre or more of disturbance, all Contractors and Sub-Contractors will be required to certify a Storm Water Pollution Prevention Plan (SWPPP). The SWPPP, if necessary, and all permits pertaining to soil and erosion control will be prepared and submitted by the Owner/Engineer.

It will be the Contractor/Sub-Contractor's responsibility to implement and follow the SWPPP.

When requested by the Owner, the Engineer shall provide construction inspection to ascertain the work is in substantial conformance with the Contract Documents and with the design intent. The Engineer's undertaking shall not relieve the Contractor from the Contractor's obligation to perform work in conformity with the Plans and Specifications and in a workmanlike manner, shall not make the Engineer an insurer of the Contractor's performance; and shall not impose upon the Engineer any obligation to ensure that the work is performed in a safe manner. The Contractor shall be totally responsible for safety for this project.

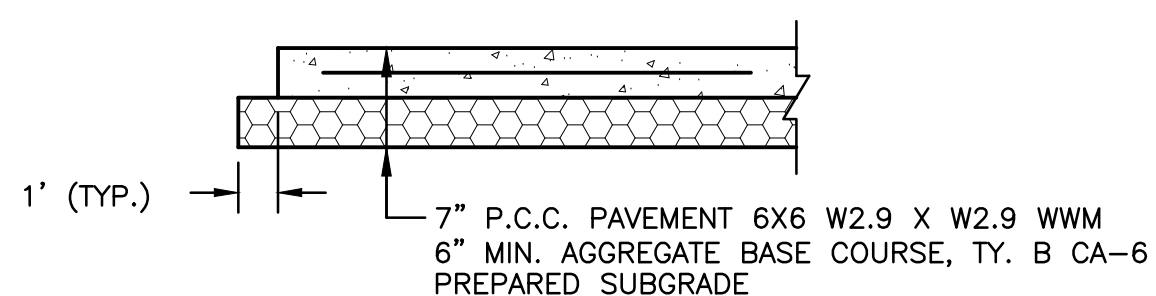
The Contractor shall record the vertical and horizontal locations of all pipe bends, valves, manholes, sewer service taps and all additional information necessary for the preparation of "As Constructed" plans. The "As Construction" plans will be prepared by the Owner or Owner's Representative.

All pumped ground water shall be filtered before discharging onto ground.

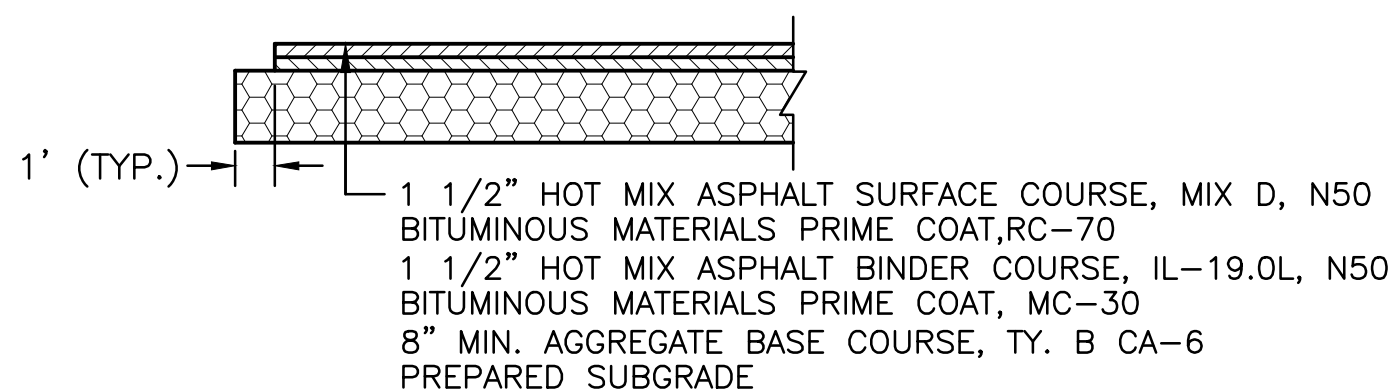
STORMS SEWERS

Storm Sewers to be constructed as specified in the IDOT Stand Specifications for Road and Bridge Construction, latest edition.

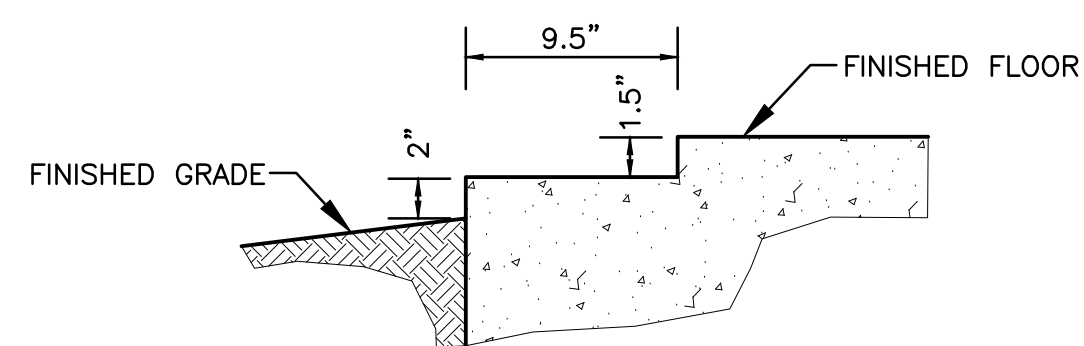
Storm sewer materials shall be as specified in the IDOT Stand Specifications for Road and Bridge Construction, latest edition.



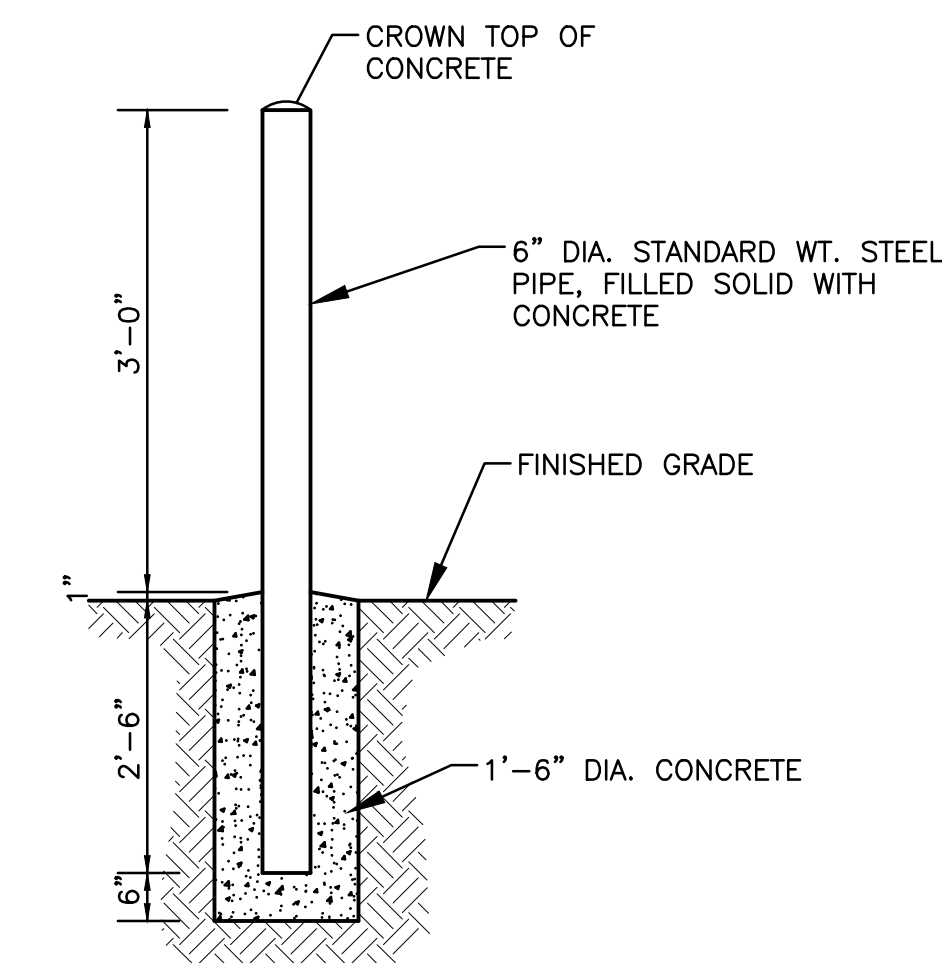
P.C.C. TRASH ENCLOSURE PAD
N.T.S.



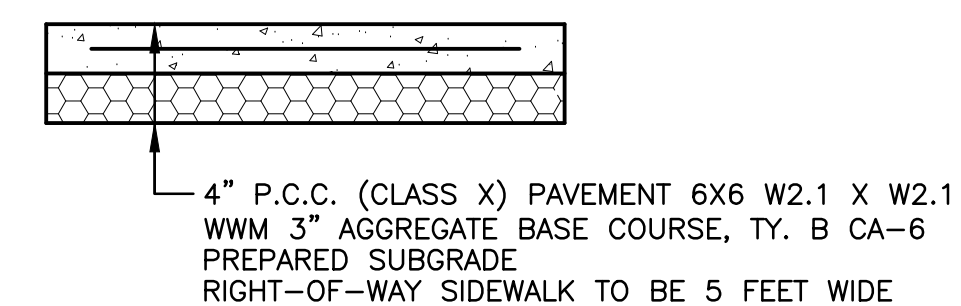
HOT MIX ASPHALT TYPICAL SECTION
N.T.S.



(FOUNDATION DETAIL AT OVERHEAD DOORS)
TYPICAL FOUNDATION DETAIL
N.T.S.



PIPE BOLLARD
N.T.S.



P.C.C. SIDEWALK DETAIL
N.T.S.

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Drawing Name: H:\A\08\3\3977-00_AREC-MURRAY_SCHOOL_ST_SELF-STORAGE\CAD\02_GEN_NOTES & DETAILS.dwg Last Modified: Feb 28, 2022 - 9:54am Plotted on: Feb 28, 2022 - 9:54am by: lrm1cny

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	2	TRH	2/28/22	REVISED PER CITY
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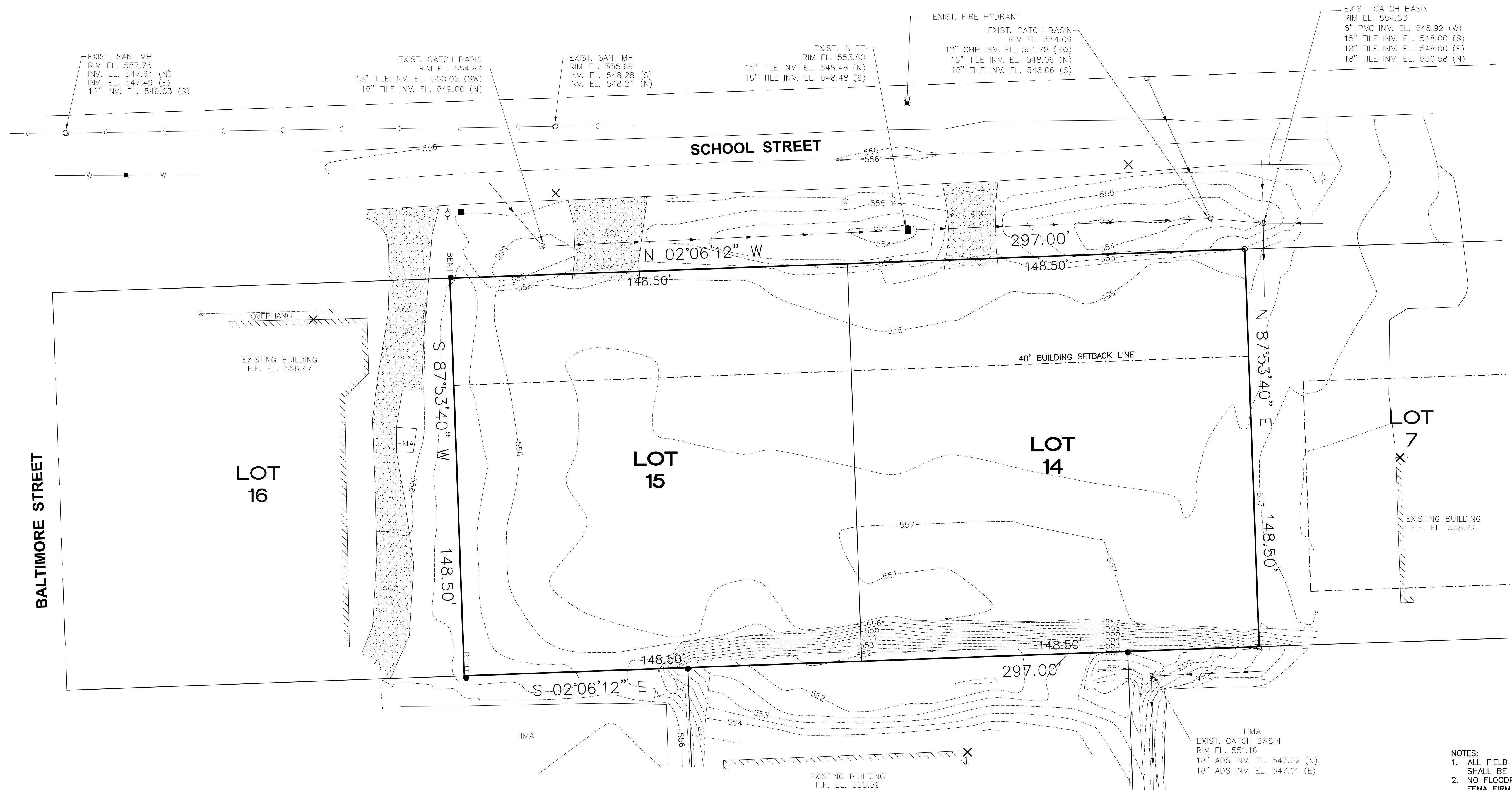
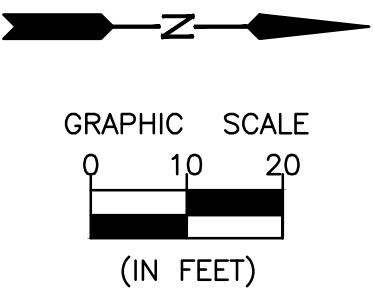


KAV DEVELOPMENT, INC.
SELF-STORAGE UNITS
SCHOOL STREET, WILMINGTON, ILLINOIS

**GENERAL NOTES
& DETAILS**

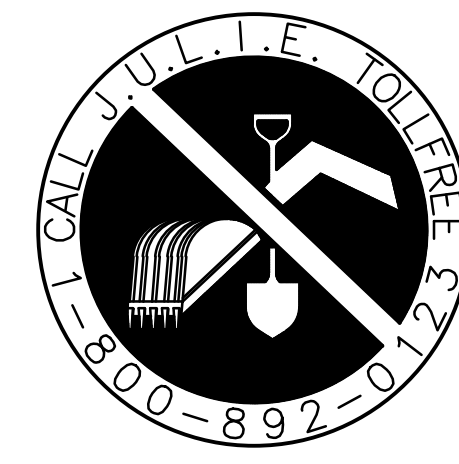
**DRAFT
PLANS**

CURRENT AS OF: 02/28/22	
JOB NO.: 3977.00	SHEET 2
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- NOTES:**
1. ALL FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE ROUTED AROUND THE SITE.
 2. NO FLOODPLAIN EXISTS ON SUBJECT PROPERTY PER FEMA FIRM MAPS 17197C0416G & 17197C0417G, BOTH REVISED FEBRUARY 15, 2019.
 3. NO WETLANDS EXISTS ON THE SUBJECT PROPERTY PER U.S. FISH & WILDLIFE NATIONAL WETLAND INVENTORY.
 4. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES WHICH SERVED PREVIOUS BUILDINGS ARE SHUT OFF/DISCONNECTED PRIOR TO START OF CONSTRUCTION.
 5. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL DEMOLITION DEBRIS FROM THE SITE.
 6. THE EXISTING UTILITIES THAT ARE TO REMAIN SHALL BE PROTECTED AS REQUIRED BY THE CONTRACTOR DURING DEMOLITION AND CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE TO REPAIR OR REPLACE ANY DAMAGED UTILITIES.
 7. TRAFFIC CONTROL MEASURES FOR ANY WORK PERFORMED IN THE MUNICIPAL RIGHT-OF-WAY SHOULD BE CONSIDERED INCIDENTAL TO THE CONTRACT.

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 Drawing Name: H:\A\08\3\3977-00_HRCO-MURRAY_SCHOOL_ST_SELF_STORAGE\CAD\03_EX_COND.dwg Last Modified: Feb 17, 2022 - 7:20am Plotted on: Feb 28, 2022 - 10:01am by: lmltjny



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2	TRH	2/28/22	REVISED PER CITY



KAV DEVELOPMENT, INC.
SELF-STORAGE UNITS
SCHOOL STREET, WILMINGTON, ILLINOIS

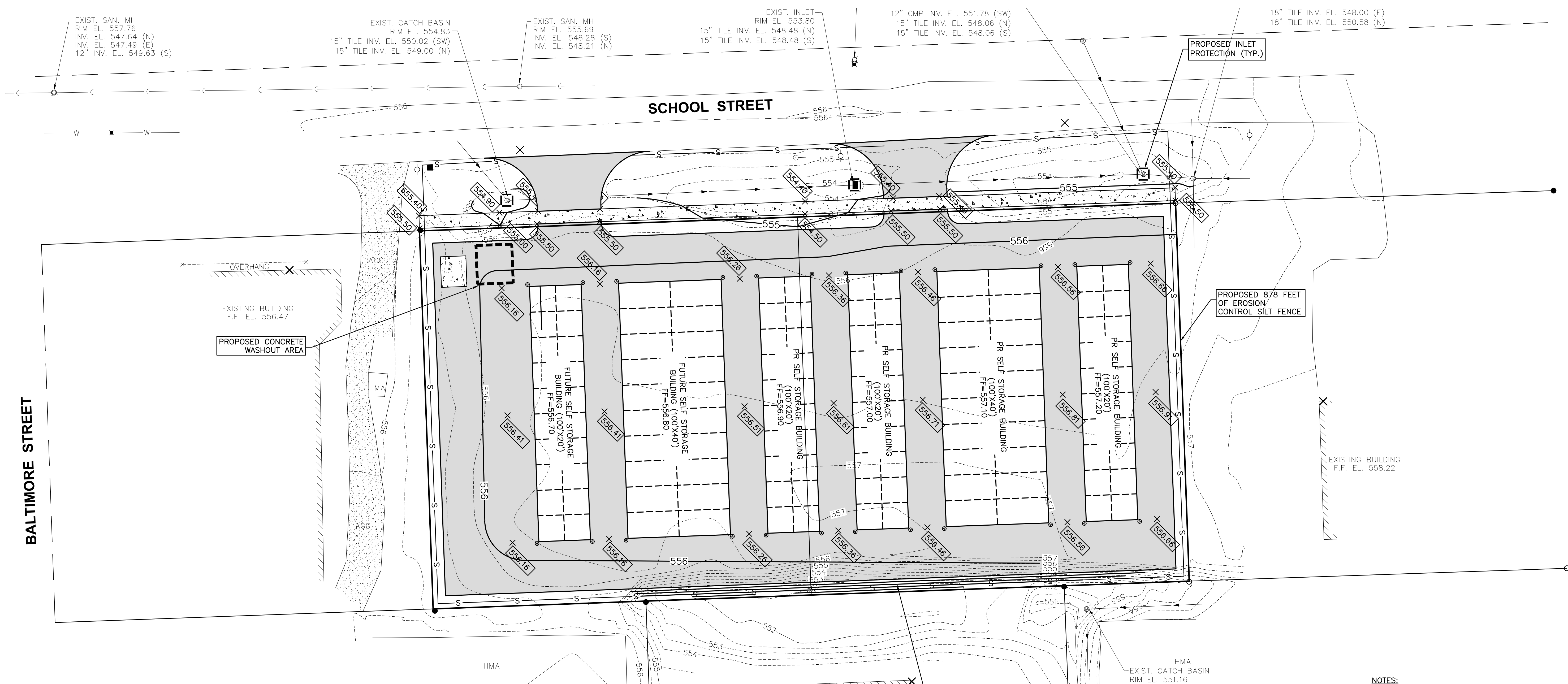
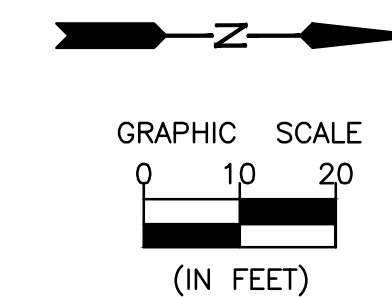
EXISTING CONDITIONS & DEMOLITION PLAN

DRAFT PLANS



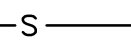
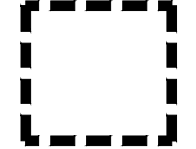

CURRENT AS OF: 02/17/22	
JOB NO.: 3977.00	SHEET 3
FILE NO.:	OF 6

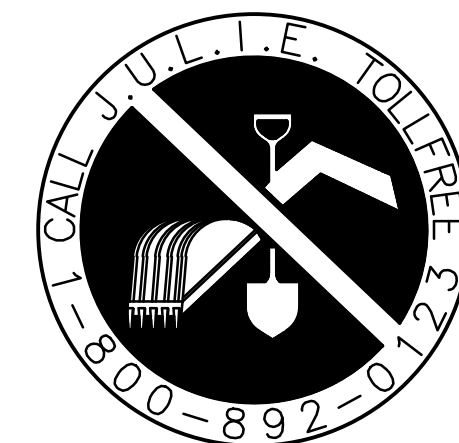
BENCHMARKS

NAIL IN POWER POLE EAST SIDE OF SCHOOL STREET AT SOUTHWEST CORNER OF VFW PROPERTY. ELEV=555.75



LEGEND

-  INLET & PIPE PROTECTION
 - GEOTEXTILE FABRIC AT ALL CURB INLETS
 - PERIMETER EROSION BARRIER AT ALL OTHER INLETS
-  ROLLED EXCELSIOR DITCH CHECKS
-  TEMPORARY EROSION CONTROL SILT FENCE
-  CONCRETE WASHOUT
-  PROPOSED ASPHALT PAVEMENT



- NOTES:**
1. ADA PARKING STALLS TO HAVE A MAXIMUM OF 2% SLOPE IN ANY DIRECTION.
 2. ALL DISTURBED AREAS NOT PAVED, GRAVELED OR LANDSCAPED SHALL RECEIVE 4 INCHES OF TOP SOIL WITH IDOT CLASS1 SEEDING, FERTILIZER NUTRIENTS AND IDOT METHOD 1 MULCH.
 3. CONTRACTOR TO TAKE ALL NECESSARY MEASURES TO PREVENT THE TRANSPORT OF SEDIMENT FROM THE SITE. THESE MEASURES WILL INCLUDE BUT ARE NOT LIMITED TO SILT FENCE, INLET FILTER BASKETS AND STRAW WADDLES.
 4. CONTRACTOR IS RESPONSIBLE TO TO KEEP OFF-SITE ROADWAYS CLEAN OF SILT AND DEBRIS. OFF-SITE ROADWAYS SHALL BE CLEANED AT THE END OF EACH DAY OR AS DIRECTED BY THE MUNICIPAL REPRESENTATIVE.
 5. PROPOSED DOWN SPOUTS TO BE DIRECTED AWAY FROM ADJACENT BUILDINGS.
 6. EXISTING AGGREGATE ENTRANCES ARE TO SERVE AS THE PROPOSED CONSTRUCTION ENTRANCES.

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Drawing Name: H:\A\08\3\3977-00_AECO-MURRAY_SCHOOL_ST_SELF_STORAGE\CAD\04_GRADE_PLAN.dwg Last Modified: Feb 28, 2022 - 10:07am by timhph

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LEVEL	BY	DATE	DESCRIPTION
1	TRH	2/16/22	REVISED PER ENGINEER
2	TRH	2/28/22	REVISED PER CITY



KAV DEVELOPMENT, INC.
SELF-STORAGE UNITS
SCHOOL STREET, WILMINGTON, ILLINOIS

GRADING & EROSION CONTROL PLAN

DRAFT PLANS

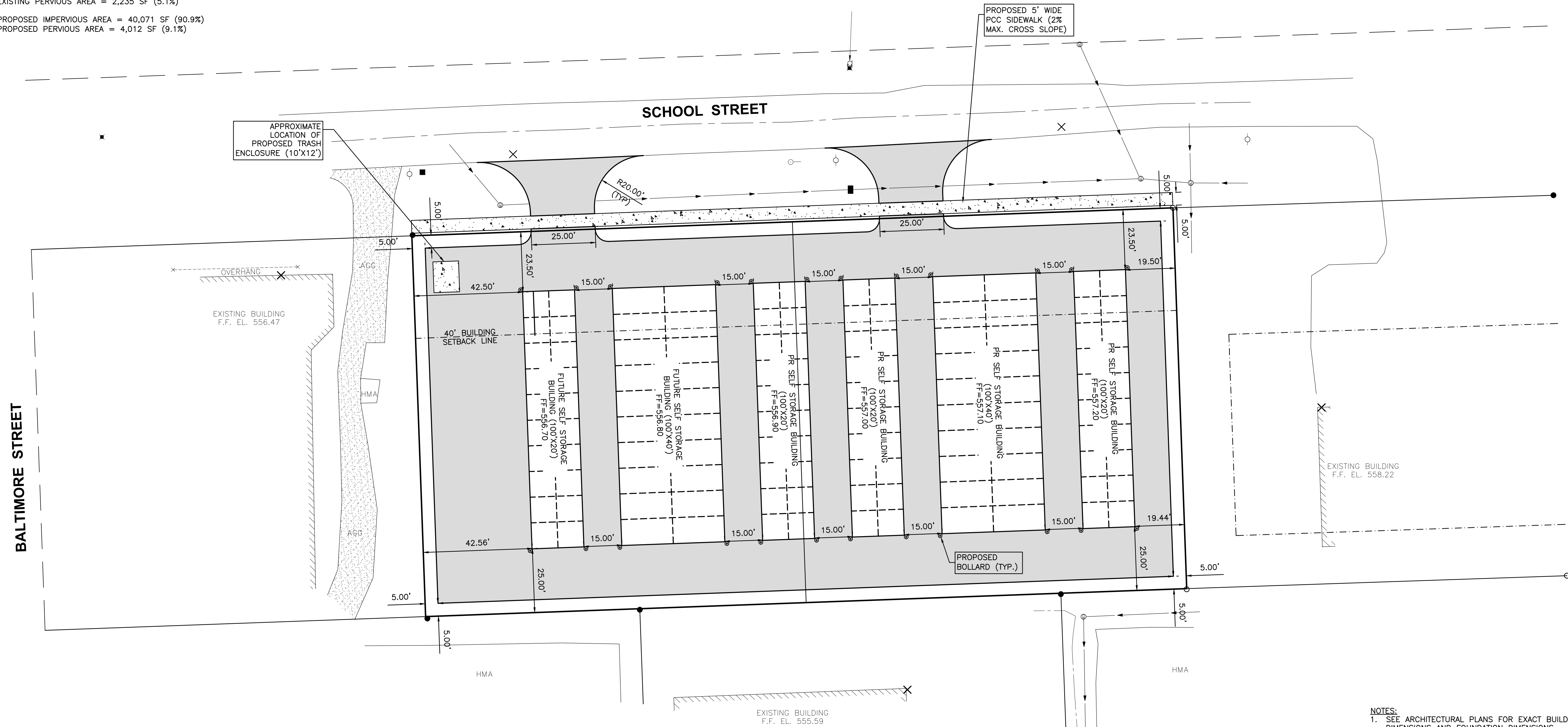
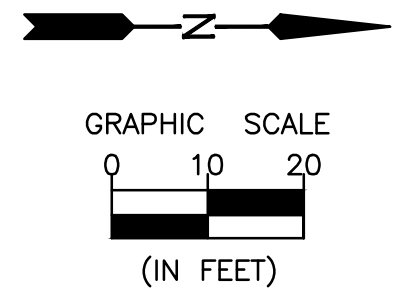
CURRENT AS OF: 02/28/22	SHEET 4
JOB NO.: 3977.00	OF 6
FILE NO.:	

SITE DATA
 TOTAL SITE AREA = 1.012 ACRES
 EXISTING ZONING = B2
 PROPOSED ZONING = B3
 FRONT YARD SETBACK = 40'
 SIDE YARD SETBACK = NONE
 REAR YARD SETBACK = NONE

PROPOSED BUILDING AREA = 16,000 SF
 PROPOSED BUILDING COVERAGE = 36.3%

EXISTING IMPERVIOUS AREA = 41,848 SF (94.9%)
 EXISTING PERVIOUS AREA = 2,235 SF (5.1%)

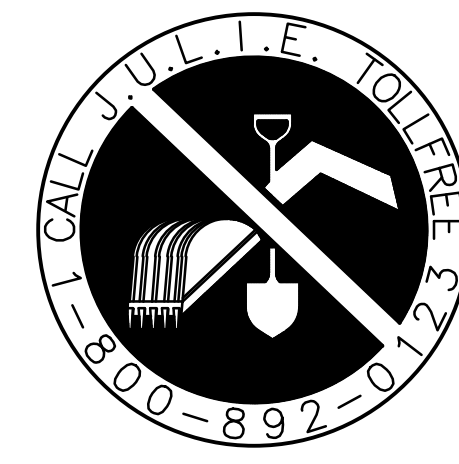
PROPOSED IMPERVIOUS AREA = 40,071 SF (90.9%)
 PROPOSED PERVIOUS AREA = 4,012 SF (9.1%)



- NOTES:**
1. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND FOUNDATION DIMENSIONS.
 2. ALL DEPRESSED CURB TO HAVE DETECTABLE WARNING PLATES PER ADA REQUIREMENTS.
 3. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
 4. ALL CURB IS BARRIER CURB UNLESS NOTED.
 5. SEE LANDSCAPE PLANS FOR DESCRIPTION OF FINAL STABILIZATION OF AREAS WITHOUT HARD SURFACES.
 6. EXISTING ENTRANCES ARE GOING TO BE UTILIZED BY PROPOSED DEVELOPMENT.
 7. PROPOSED STORAGE UNIT BUILDINGS TO HAVE EXTERIOR WALL MOUNTED SECURITY LIGHTING.

PROPOSED ASPHALT PAVEMENT

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 Drawing Name: H:\A\08\33977-00_ARCO-MURRAY_SCHOOL_ST_SELF_STORAGE\CAD\05_GEO_PLAN.dwg Last Modified: Feb. 28, 2022 - 10:12am Plotted on: Feb. 28, 2022 - 10:12am by: tmjmgjy



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1	TRH	2/16/22	REVISED PER ENGINEER
2	TRH	2/28/22	REVISED PER CITY



KAV DEVELOPMENT, INC.
SELF-STORAGE UNITS
SCHOOL STREET, WILMINGTON, ILLINOIS

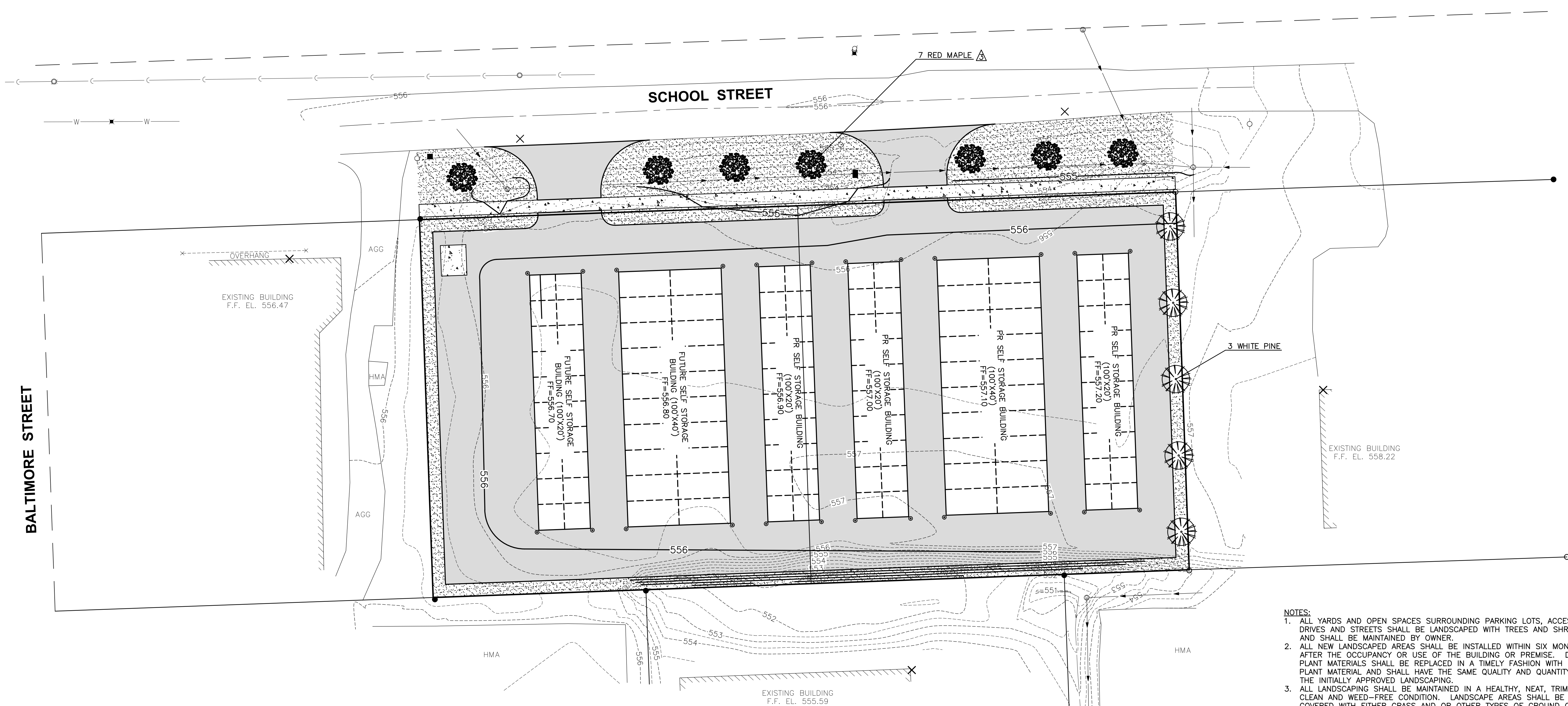
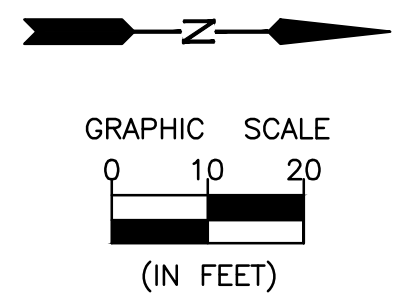
GEOMETRY PLAN

DRAFT PLANS

CURRENT AS OF: 02/28/22	SHEET 5
JOB NO.: 3977.00	OF 6
FILE NO.:	

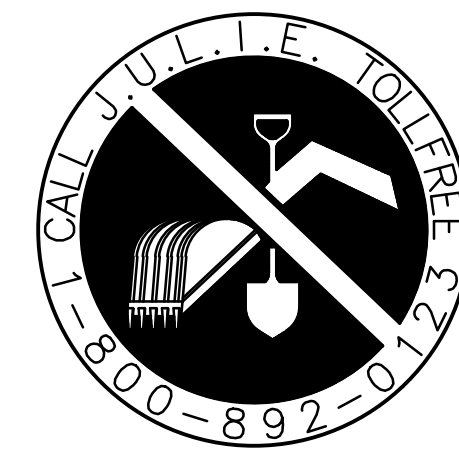
BENCHMARKS

NAIL IN POWER POLE EAST SIDE OF SCHOOL STREET AT SOUTHWEST CORNER OF VFW PROPERTY. ELEV=555.75



- NOTES:**
1. ALL YARDS AND OPEN SPACES SURROUNDING PARKING LOTS, ACCESS DRIVES AND STREETS SHALL BE LANDSCAPED WITH TREES AND SHRUBS, AND SHALL BE MAINTAINED BY OWNER.
 2. ALL NEW LANDSCAPED AREAS SHALL BE INSTALLED WITHIN SIX MONTHS AFTER THE OCCUPANCY OR USE OF THE BUILDING OR PREMISE. DEAD PLANT MATERIALS SHALL BE REPLACED IN A TIMELY FASHION WITH LIVING PLANT MATERIAL AND SHALL HAVE THE SAME QUALITY AND QUANTITY OF THE INITIALLY APPROVED LANDSCAPING.
 3. ALL LANDSCAPING SHALL BE MAINTAINED IN A HEALTHY, NEAT, TRIMMED, CLEAN AND WEED-FREE CONDITION. LANDSCAPE AREAS SHALL BE COVERED WITH EITHER GRASS AND OR OTHER TYPES OF GROUND COVER LOCATED BENEATH AND SURROUNDING THE TREES AND SHRUBS.
 4. TREES SHALL RECEIVE A DONUT-SHAPED MULCH RING THREE TO FOUR INCHES (3"-4") DEEP, FROM THE BASE OF THE TRUNK TO THE DRIP LINE (CONE-SHAPED MULCH RINGS ARE PROHIBITED).
 5. PARKWAYS SHALL BE SEEDED WITH TURF GRASS.
 6. PROPOSED DECIDUOUS TREES ARE TO BE 2.5" IN DIAMETER AS MEASURED 6" ABOVE THE GROUND, NOT LESS THAN 6 FEET TALL AT THE TIME OF PLANTING.
 7. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING THEMSELVES FAMILIAR WITH ALL UNDERGROUND UTILITIES AND STRUCTURES.
 8. PLANT MATERIAL SHALL BE SIZE AND TYPE SPECIFIED. SUBSTITUTIONS OF PLANT MATERIAL SHALL BE ON A CASE BY CASE BASIS AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE. IN NO CASE SHALL PLANT MATERIAL BE SMALLER THAN INDICATED IN THE PLANS.
 9. PLANTS SHALL BE WATERED IN THE DAY THEY ARE PLANTED AND MAINTAINED WITH WATERING UNTIL FINAL ACCEPTANCE OF THE PROJECT.

QUANTITY	SIZE	BOTANICAL NAME	COMMON NAME
7	2.5" CAL.	ACER RUBRUM	RED MAPLE
5	6' HT.	PINUS STROBUS	WHITE PINE
936	SQ. YARD SEED		TURF GRASS



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CHECKED BY: CJM	1	TRH	2/16/22 REVISED PER ENGINEER
SCALE: 1" = 20'	2	TRH	2/28/22 REVISED PER CITY
	3	TRH	3/17/22 REVISED LANDSCAPE PLAN PER CITY



KAV DEVELOPMENT, INC.
SELF-STORAGE UNITS
SCHOOL STREET, WILMINGTON, ILLINOIS

LANDSCAPE PLAN

DRAFT PLANS

CURRENT AS OF: 03/17/22	SHEET 6
JOB NO.: 3977.00	OF 6
FILE NO.:	

2021 Levy Real Estate Tax Information

Will County Treasurer

302 N. CHICAGO ST., JOLIET, IL 60432

Permanent Index Number (PIN): 03-17-26-404-030-0000

*** Mortgage companies and banks must submit one check per PIN ***

Mailing Address Township
PRINCKO RICHARD **WILMINGTON**
A
P O BOX 282
WILMINGTON IL
60481

NET PAY	Exemptions	Tax Base Value
0	0	0
Acres	Tax Code	Tax Rate
.68	0302	0.0000

Please be advised that *Balance Due is subject to change at any time.
 Interest increases 1.5% per month beginning the day after each installment due date.
 If prior sold taxes remain unpaid, a tax buyer may pay your current taxes.

LAST DAY TO PAY CURR ONLINE WILL BE 12/17/21

7021 0350 0000 0755 9901

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- Adult Signature Restricted Delivery \$0.00

Postage \$0.58
 Total Postage and Fees \$4.33



Sent to *Rich Pricko*
 Street and Apt. No. *PO Box 282*
 City, State, ZIP+4® *Wilmington*

2020 Levy Real Estate Tax Information

Will County Treasurer

302 N. CHICAGO ST., JOLIET, IL 60432

Permanent Index Number (PIN): 03-17-26-404-032-0000

Mailing Address: **TOWNS EDGE CAR WASHINGTON**
WASH INC
PO BOX 188
MORRISON IL
61270

Assessed Value: **79,029** Exemption: **0** Tax Base Value: **79,029**
 Annual: **0302** Tax Code: **0302** Tax Rate: **7.9874**

Installment	Base Tax Amount	Interest/Cost	Final Paid	Order
First Due: 08/03/21	3,156.18	0.00	3,156.18	05/11
Second Due: 11/03/21	3,156.18	0.00	3,156.18	07/12
Total Base Tax (without penalties)	6,312.36			

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 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00
 Postage \$0.58
 Total Postage and Fees \$4.33

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Sent to **Juan Bobi Garcia**
 Street and P.O. Box No. **PO Box 188**
 City, State, ZIP+4® **Morrison IL 61270**
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

2020 Levy Real Estate Tax Information

Will County Treasurer

302 N. CHICAGO ST., JOLIET, IL 60432

Permanent Index Number (PIN): 03-17-26-404-025-0000

Mailing Address: JACKSON CHARLES R
 409 CENTRAL DR
 WILMINGTON IL 60481

Township: WILMINGTON

Assessed Value: 32,074
 Exemptions: 0
 Net Assessed Value: 32,074
 Tax Code: 0302
 Tax Rate: 7.9874

Installment	Base Tax Amount	Interest/Cost	Total Paid	Date
First Due: 08/03/21	1,280.94	0.00	1,280.94	06/10/21
Second Due: 11/03/21	1,280.94	0.00	1,280.94	03/15/22
Total Base Tax (without penalties)	2,561.88			

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 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00
 Postage \$0.58
 Total Postage and Fees \$4.33

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 03/17/2022

Sent to: *Charles Jackson*
 Street and Apt. No., or PO Box No.: *409 Central Dr.*
 City, State, ZIP+4®: *Wilmington IL*

2020 Levy Real Estate Tax Information

Will County Treasurer

302 N. CHICAGO ST., JOLIET, IL 60432

Permanent Index Number (PIN): 03-17-26-404-026-0000

Mailing Address: **VOTTA GREGORY**
KAR 5346
BOX 183
215 S LINDEN
ESSEX IL 60935

Township: **WILMINGTON**

Assessed Value: **68,382** Exemptions: **0** Tax Base Value: **68,382**

Acres: **0.00** Tax Code: **0302** Tax Rate: **7.9874**

Installment	Base Tax Amount	Interest/Over	Total Paid	Date
First Due: 08/03/21	2,730.97	0.00	2,730.97	05
Second Due: 11/03/21	2,730.97	0.00	2,730.97	05
Total Base Tax (without penalties)	5,461.94			

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 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.58 Total Postage and Fees \$4.33

Sent to **Gregory Votta**
 Street and Apt. No. or PO Box **215 S LINDEN**
 City, State, ZIP+4® **Essex IL 60935**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

2020 Levy Real Estate Tax Information

Will County Treasurer

302 N. CHICAGO ST., JOLIET, IL 60432

Permanent Index Number (PIN): 03-17-35-205-019-0000

Mailing Address: P R WALKER INC
 18612 NW FRONTAGE RD
 SHOREWOOD IL 60404

Township: WILMINGTON

Assessed Value	158,859	Exemption	0	Tax Base Value	0
Area	.87	Tax Code	0302	Tax Rate	7.9874

Installment	Base Tax Amount	Interest	Penalty	Total Paid	Date
First Due:	08/03/21	6,344.35	0.00	6,344.35	08/03
Second Due:	11/03/21	6,344.35	0.00	6,344.35	11/03
Total Base Tax (without penalties)				12,688.70	

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 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00
 Postage \$0.58
 Total Postage and Fees \$4.33

Sent to **PR Walker Inc**
 Street and Apt. No. or PO Box **18612 NW Frontage Rd**
 City, State, ZIP+4® **Shorewood, IL 60404**

Postmark **MAR Here 2022**
 03/17/2022

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

2020 Levy Real Estate Tax Information

Will County Treasurer

302 N. CHICAGO ST., JOLIET, IL 60432

Permanent Index Number (PIN): 03-17-26-403-006-0000

Mailing Address: **HARDING DOUGLAS**
240 SCHOOL ST
WILMINGTON IL
60481

Township: **WILMINGTON**

Assessed Value: **11,036** Exemptions: **0** Tax Base Value: **11,036**
 Acres: **.33** Tax Code: **0302** Tax Rate: **7.9874**

Taxes sold - SEE COUNTY CLERK WEBSITE
 CLICK HERE FOR COUNTY CLERK TAX REDEMPTION

Installment	Base Tax Amount	Interest/Cost	Total Paid	Date	
First Due:	08/03/21	440.75	39.67	480.42	01/11
Second Due:	11/03/21	440.75	59.83	500.58	01/11
Total Base Tax (without penalties)				881.50	

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 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00
 Postage \$0.58
 Total Postage and Fees \$4.33

Sent To: *Doug Harding*
 Street and Apt. No. or PO Box No.: *240 School St*
 City, State, ZIP+4®: *Wilmington IL 60481*

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 03/17/2022

2020 Levy Real Estate Tax Information

Will County Treasurer

302 N. CHICAGO ST., JOLIET, IL 60432

Permanent Index Number (PIN): 03-17-35-204-008-0000

Mailing Address Township
CRICHTON JOHN L **WILMINGTON**
JR SHARON K TR
5160 E SHIPROCK
ST
APACHE JUNCTION
AZ
85119

Assessed Value Exemptions Tax Base Value
87,393 **0** **0**
 Area Tax Code Tax Rate
0302 **7.9874**

Installment	Base Tax Amount	Interest/Cost	Total Paid	Due Date
First Due: 08/03/21	3,490.22	0.00	3,490.22	06/0
Second Due: 11/03/21	3,490.22	0.00	3,490.22	09/0

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APACHE JUNCTION AZ 85119

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Sent to **John - Crichton**
 Street and Apt. No. or PO Box No. **5160 E Shiprock**
 City, State, ZIP+4® **Apache Junction AZ 85119**
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

2020 Levy Real Estate Tax Information

Will County Treasurer

302 N. CHICAGO ST., JOLIET, IL 60432

Permanent Index Number (PIN): 03-17-35-205-014-0000

Mailing Address
Township
MALCOLM J MAYO
VFW POST 5422
WILMINGTON
557 BALTIMORE ST
WILMINGTON IL
60481

Assessed Value 38,043
Exemptions 32,147
Net Assessed Value 5,896
Acres .84
Tax Code 0302
Tax Rate 7.9874

Installation	Base Tax Amount	Interest Cost	Penalty Paid	Date
First Due: 08/03/21	235.47	0.00	235.47	05/
Second Due: 11/03/21	235.47	0.00	235.47	05/
Total Base Tax (without penalties)	470.94			

9888 0755 0000 0350 1021

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 Adult Signature Restricted Delivery \$11.00

Postage \$0.58
Total Postage and Fees \$4.33

Sent to **VFW Post 5422**
 Street and Apt. No., or PO Box No.
 City, State, ZIP+4®

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2020 Levy Real Estate Tax Information

Will County Treasurer

302 N. CHICAGO ST., JOLIET, IL 60432

Permanent Index Number (PIN): 03-17-26-403-024-0000

Mailing Address: ACE GROUP LLC
1913 S BRIGGS ST
JOLIET IL 60433

Township: WILMINGTON

Assessed Value: 116,958
Exemptions: 0
T1 Base Value: 0
Acres: .97
Tax Code: 0302
Tax Rate: 7.9874

[Five Year Tax Inquiry](#)
[Tax Detail Inquiry](#)

Installment	Base Tax Amount	Interest/Cost	Total Paid	Date Paid	*BALANCE DUE
First Due: 08/03/21	4,670.95	0.00	4,670.95		
Second Due: 11/03/21	4,670.95	0.00	4,670.95		
Total Base Tax (without penalties)	9,341.90				

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 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00
 Postage \$0.58
 Total Postage and Fees \$4.33

Sent To: ACE GROUP
Street and Apt. No., or PO Box No.: 1913 S Briggs St
City, State, ZIP+4®: Joliet IL 60433

Postmark Here: MAR 17 2022
03/17/2022

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

2020 Levy Real Estate Tax Information

Will County Treasurer

302 N. CHICAGO ST., JOLIET, IL 60432

Permanent Index Number (PIN): 03-17-26-403-017-0000

<p>Mailing Address</p> <p>FOSTER CHARLES C FOSTER MARY JEAN 200 SCHOOL ST WILMINGTON IL 60481</p>	<p>Township</p> <p>WILMINGTON</p>
--------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------

Assessed Value	Exemptions	Tif Base Value
42,926	15,511	0
Acres	Tax Code	Tax Rate
.30	0302	7.9874

[Five Year Tax Inquiry](#)
[Tax Detail Inquiry](#)

Installment	Base Tax Amount	Interest/Coal	Total	Date	*BALANCE
First Due: 08/03/21	1,094.88	0.00	1,		
Second Due: 11/03/21	1,094.88	0.00	1,		
Total Base Tax (without penalties)	2,189.76				

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<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.58
Total Postage and Fees	\$4.33

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03/17/2022

Sent To: *Charles Foster*
 Street and Apt. No., or PO Box No.: *School St*
 City, State, ZIP+4®: *Wilm*

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

702J 0350 0000 0756 737J

2020 Levy Real Estate Tax Information

Will County Treasurer

302 N. CHICAGO ST., JOLIET, IL 60432

Permanent Index Number (PIN): 03-17-26-404-017-0000

Mailing Address	Township
BUZA JOEL 904 S WATER ST WILMINGTON IL 60481	WILMINGTON

Assessed Value	Exemptions	TIF Base Value
34,434	0	0
Acres	Tax Code	Tax Rate
.50	0302	7.9874

[Five Year Tax Inquiry](#)
[Tax Detail Inquiry](#)

Installment	Base Tax Amount	Interest/Cost	Total Paid	Date Paid	*BALANCE DUE
First Due: 08/03/21	1,375.19	0.00	1,		
Second Due: 11/03/21	1,375.19	0.00	1,		
Total Base Tax (without penalties)	2,750.38				

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<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.58	
Total Postage and Fees	\$4.33	

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MAR 17 2022

03/17/2022

Sent To: Joel Buza
 Street and Apt. No., or PO Box No.: 904 S Water St
 City, State, ZIP+4®: WILMINGTON IL 60481

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2020 Levy Real Estate Tax Information

Will County Treasurer

302 N. CHICAGO ST., JOLIET, IL 60432

Permanent Index Number (PIN): 03-17-26-404-023-0000

Mailing Address: SHABANI SEFADIN SHABANI FEKRIJE 390 W BALTIMORE WILMINGTON IL 60481
 Township: WILMINGTON

Assessed Value: 200,494
 Exemptions: 0
 Tax Code: 0302
 Acres: [blank]
 Tax Base Value: 0
 Tax Rate: 7.9874

[Five Year Tax Inquiry](#)
[Tax Detail Inquiry](#)

Installation	Base Tax Amount	Interest/Cost	Total	Date	*BALANCE
First Due: 08/03/21	8,007.13	0.00	8,007.13		
Second Due: 11/03/21	8,007.13	0.00	8,007.13		
Total Base Tax (without penalties)	16,014.26				

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 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.58
 Total Postage and Fees \$4.33

Sent To: *Sefadine Shadep*
 Street and Apt. No., or PO Box No.: *390 W. Baltimore*
 City, State, ZIP+4®: *Wilm. Ill*

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2020 Levy Real Estate Tax Information

Will County Treasurer

302 N. CHICAGO ST., JOLIET, IL 60432

Permanent Index Number (PIN): 03-17-26-403-016-0000

Mailing Address	Township
TWENTY FOUR WEST FIRST ST LLC 1396 BURNSIDE CT LONG GROVE IL 60047	WILMINGTON

Assessed Value	Exemptions	Taxable Value
48,333	0	0
Acres	Tax Code	Tax Rate
.45	0302	7.9874

[Five Year Tax Inquiry.](#)
[Tax Detail Inquiry.](#)

Installment	Base Tax Amount	Interest/Cost
First Due: 08/03/21	1,930.28	0.00
Second Due: 11/03/21	1,930.28	0.00
Total Base Tax (without penalties)	3,860.56	

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Lake Zurich, IL 60047

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<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.58	
Total Postage and Fees	\$4.33	

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Sent To: *Twenty Four West First St, LLC, Burnside*
 Street and Apt. No., or PO Box No.
 City, State, ZIP+4®: *Long Grove, IL 60047*

2020 Levy Real Estate Tax Information

Will County Treasurer

302 N. CHICAGO ST., JOLIET, IL 60432

Permanent Index Number (PIN): 03-17-26-404-019-0000

Mailing Address: **CAUGHLIN JAMES**
214 N FIRST ST
WILMINGTON IL 60481

Township: **WILMINGTON**

Assessed Value: **58,244**
 Exemptions: **0**
 Tax Code: **0302**

Full Base Value: **0**
 Tax Rate: **7.9874**

[Five Year Tax Inquiry](#)
[Tax Detail Inquiry](#)

Installment	Base Tax Amount	Interest/Cost	Total Paid	Date Paid	*BALANCE DUE
First Due: 08/03/21	2,326.09	0.00	2,326.09		
Second Due: 11/03/21	2,326.09	0.00	2,326.09		
Total Base Tax (without penalties)	4,652.18				

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Certified Mail Restricted Delivery \$0.00

Adult Signature Required \$0.00

Adult Signature Restricted Delivery \$0.00

Postage \$0.58

Total Postage and Fees \$4.33

Sent To **James Coughlin**

Street and Apt. No., or P.O. Box No. **214 N. 1st St**

City, State, ZIP+4® **Wilm**

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PS Form 3800, April 2015

2020 Levy Real Estate Tax Information

Will County Treasurer

302 N. CHICAGO ST., JOLIET, IL 60432

Permanent Index Number (PIN): 03-17-26-404-014-0000

Mailing Address: **FAVERO DOUGLAS KATHERINE TR 1445 735 MEADOWOOD LN WILMINGTON IL 60481**

Township: **WILMINGTON**

Assessed Value: **11,612**
 Acres: **1.00**

Exemptions: **0**
 Tax Code: **0302**

Tif Base Value: **0**
 Tax Rate: **7.9874**

[Five Year Tax Inquiry](#)
[Tax Detail Inquiry](#)

Installment	Base Tax Amount	Interest/Cost
First Due: 08/03/21	463.75	0.00
Second Due: 11/03/21	463.75	0.00
Total Base Tax (without penalties)	927.50	

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 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.58
 Total Postage and Fees \$4.33

Postmark Here: **MAR 17 2022**

Sent To: *Doug Favero*
 Street and Apt. No., or PO Box No.: *735 Meadowood Ln*
 City, State, ZIP+4®: *W. M*

2020 Levy Real Estate Tax Information

Will County Treasurer

302 N. CHICAGO ST., JOLIET, IL 60432

Permanent Index Number (PIN): 03-17-26-404-006-0000

Mailing Address: FALETTI
BERNARD M
ALICE F
FALETTI
BERNARD M
LIV TRUST
392 W
BALTIMORE
ST
WILMINGTON
IL 60481

Township: WILMINGTON

Assessed Value: 93,178
Exemptions: 0
Tax Base Value: 0
Acres: .50
Tax Code: 0302
Tax Rate: 7.9874

[Five Year Tax Inquiry](#)
[Tax Detail Inquiry](#)

Installment	Base Tax Amount	Interest/Chgs
First Due: 08/03/21	3,721.25	0.00
Second Due: 11/03/21	3,721.25	0.00
Total Base Tax (without penalties)	7,442.50	

7021 0350 0000 0756 5575

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Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$0.00

Return Receipt (electronic) \$0.00

Certified Mail Restricted Delivery \$0.00

Adult Signature Required \$0.00

Adult Signature Restricted Delivery \$0.00

Postage \$0.58

Total Postage and Fees \$4.33

Sent To: *Bernard Faletti*

Street and Apt. No., or PO Box No.: *392 W. Baltimore*

City, State, ZIP+4®: *Wilmington, IL 60481*

0481 07

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03/17/2022

2020 Levy Real Estate Tax Information

Will County Treasurer

302 N. CHICAGO ST., JOLIET, IL 60432

Permanent Index Number (PIN): 03-17-26-404-031-0000

Mailing Address Township
RADIOLOGICAL SOLUTIONS INC **WILMINGTON**
1840 MOEN AVE A
ROCKDALE IL 60436

Assessed Value	Exemptions	Tax Base Value
43,187	0	0
Acres	Tax Code	Tax Rate
	0302	7.9874

[Five Year Tax Inquiry.](#)
[Tax Detail Inquiry.](#)

Installation	Base Tax Amount	Interest/Cost	Total Paid	Date Paid	*BALANCE DUE
First Due: 08/03/21	1,724.76	0.00	1,		
Second Due: 11/03/21	1,724.76	0.00	1,		
Total Base Tax (without penalties)	3,449.52				

[Return to Treasurer Home Page](#)

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Joliet, IL 60436

OFFICIAL USE

Certified Mail Fee	\$3.75
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.58
Total Postage and Fees	\$4.33

Sent To: *Radiological soln inc*
 Street and Apt. No., or PO Box No.: *1840 MOEN AVE A*
 City, State, ZIP+4®: *Rockdale IL 60436*

Postmark Here: **MAR 17 2022**
 03/17/2022

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

2020 Levy Real Estate Tax Information

Will County Treasurer

302 N. CHICAGO ST., JOLIET, IL 60432

Permanent Index Number (PIN): 03-17-26-403-011-0000

Mailing Address
Township
CONGER
ERIC
PO BOX 168
SOUTH
WILMINGTON
IL
60474
WILMINGTON

Assessed Value
11,036
Exemptions
0
Tax Base Value
0
Acres
.25
Tax Code
0302
Tax Rate
7.9874

[Five Year Tax Inquiry](#)
[Tax Detail Inquiry](#)

(installment)	Base Tax Amount	Interest/Cost	Total Paid	Date Paid	*BALANCE DUE
First Due: 08/03/21	440.75	19.83			
Second Due: 11/03/21	440.75	0.00			
Total Base Tax (without penalties)	881.50				

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South Wilmington, IL 60474

OFFICIAL USE

Certified Mail Fee \$3.75

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$0.00
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.58

Total Postage and Fees \$4.33

Sent To **ERIC CONGER**

Street and Apt. No. or PO Box No. **PO Box 168**

City, State, ZIP+4® **South Wilmington IL 60474**

PS Form 3800, April 2015 PSN 7530-02-000-9047

0481 07
 MAR 17 2022
 Postmark Here
 03/17/2022

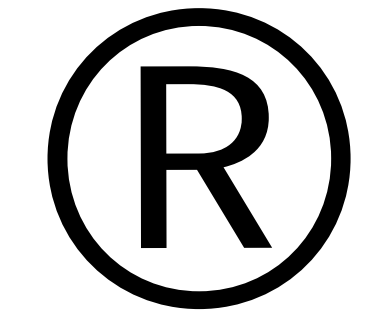
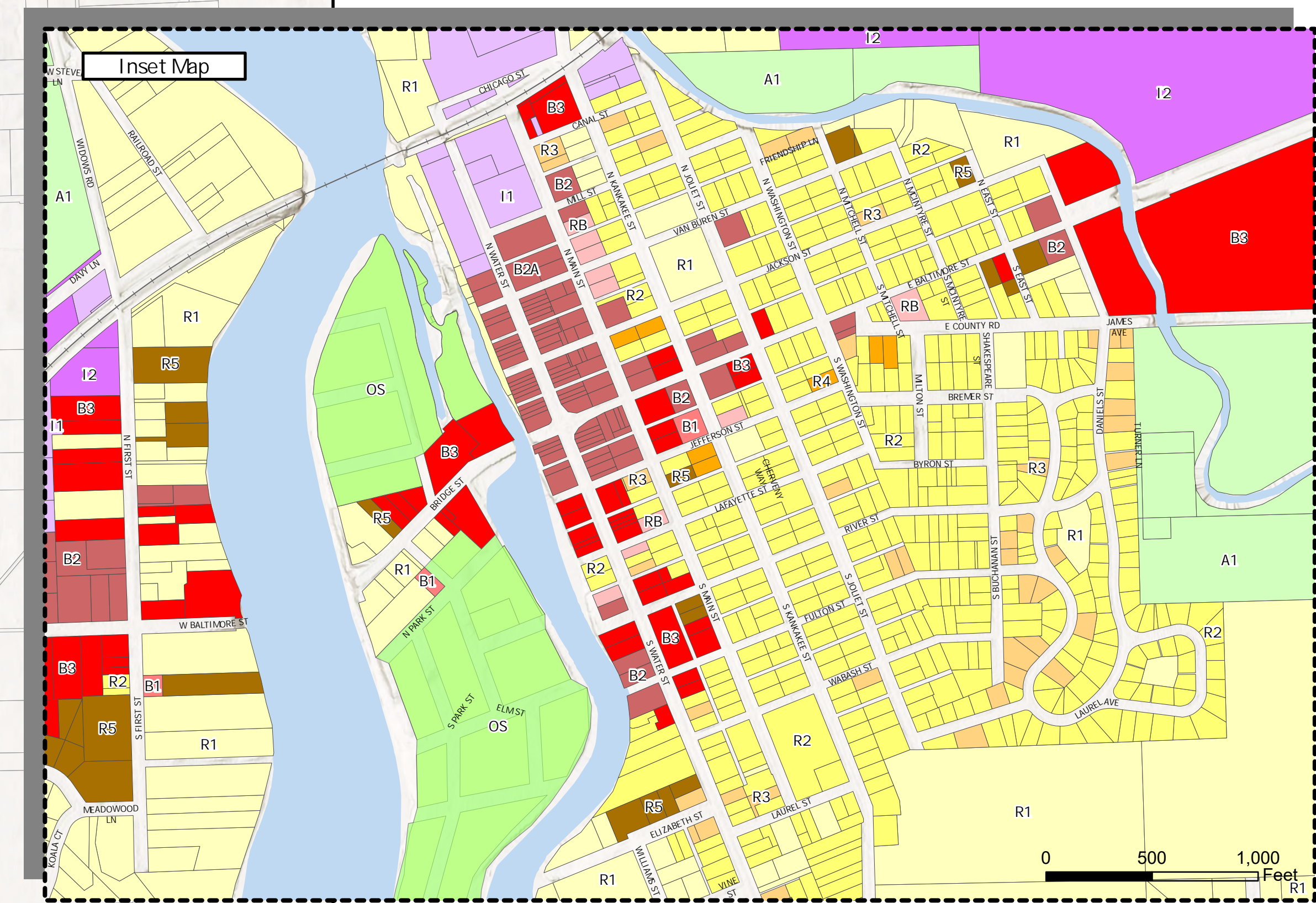
702J 0350 0000 0756 736L



CITY OF WILMINGTON 2022 ZONING MAP

Legend

- WILMINGTON CORPORATE LIMITS
- A1- AGRICULTURAL
- ER- ESTATE RESIDENTIAL
- GR- GENERAL RESIDENTIAL
- R1- RESIDENTIAL SINGLE FAMILY
- R2- RESIDENTIAL SINGLE FAMILY
- R3- RESIDENTIAL TWO FAMILY
- R4- RESIDENTIAL SINGLE FAMILY ATTACHED
- R5- RESIDENTIAL MULTI-FAMILY
- RB- RESTRICTED BUSINESS
- B1- NEIGHBORHOOD COMMERCIAL
- B2- LIGHT COMMERCIAL
- B2A- CENTRAL BUSINESS
- B3- GENERAL COMMERCIAL
- I1- OFFICE, RESEARCH, LIGHT INDUSTRIAL
- I2- LIGHT INDUSTRIAL
- I3- HEAVY INDUSTRIAL
- I4- LARGE SCALE INDUSTRIAL
- I5- LARGE SCALE PLANNED INDUSTRIAL
- OS- OPEN SPACE

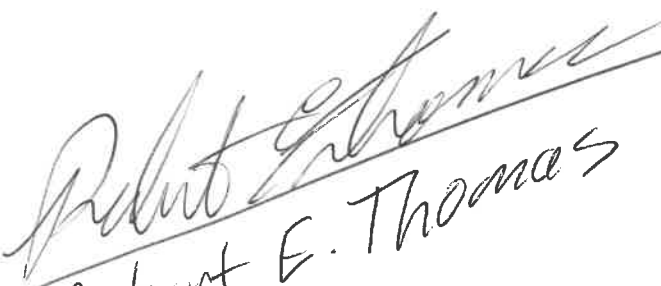


Current as of 3/11/2022

PUBLISHED BY AUTHORITY OF THE CITY COUNCIL OF THE CITY OF WILMINGTON, ILLINOIS 60481
Parcel boundaries are to be used only as a reference and may change without notice. True property boundaries are shown in official legal descriptions and plats on file with the Will County Recorder of Deeds.
The Data is provided without warranty or any representation of accuracy, timeliness, or completeness. It is the responsibility of the "Requester" to determine accuracy, timeliness, completeness, and appropriateness of its use. The City of Wilmington makes no warranties, expressed or implied, to the use of the Data.
Parcel data provided by Will County GIS

I, Bob Thomas asking to be put on planning and zoning meeting for April to discuss about a new garage and variances. My existing garage is rotted because of water running down the alleyway from the street in to my garage.

Mar 31, 2022


Robert E. Thomas

Received
MAR 31 2022
City of Wilmington